

ORDERED:

Notice having been given and public hearing held, as provided by law, that the Massachusetts Electric Company d/b/a National Grid be and it is hereby granted permission to excavate the public highways and to run and maintain underground electric conduits, together with such sustaining and protecting fixtures as said company may deem necessary, in the public way or ways hereinafter referred to, and to make the necessary house connections along said extensions, as requested in petition with said company dated the 29th day of April, 2022.

Said underground electric conduits shall be located substantially in accordance with the plan filed herewith marked – Essex St - Salem - Massachusetts. Plan # 30509371.

The following are the public ways or part of ways along which the underground electric conduits above referred to may be laid:

Norman St - National Grid to install beginning at a point approximately 90 feet southeast of the centerline of the intersection of Norman St and Summer St and continuing approximately 30 feet in a northeast direction. Install 60ft +/- (2), 3" conduits southeast from existing manhole on Norman St.

I hereby certify that the foregoing order was adopted at a meeting of the
.....
....., held on the day of, 20
....., 20

Received and entered in the records of location orders of the City/Town of
Book Page

Attest:

..... hereby certify that on20....., at o'clock,M
at, a public hearing was held on the petition of
Massachusetts Electric Company d/b/a National Grid for permission to construct the underground
electric conduits described in the order herewith recorded, and that I mailed at least seven days
before said hearing a written notice of the time and place of said hearing to each of the owners of
real estate (as determined by the last preceding assessment for taxation) along the ways or parts of
ways upon which the Company is permitted to construct the underground electric conduits under
said order. And that thereupon said order was duly adopted.

.....
.....
.....

North



UNDERGROUND PETITION

- | | |
|---|-------------------------|
| <input type="checkbox"/> MANHOLE (EXISTING) | — EDGE OF STREET |
| <input type="checkbox"/> PROPOSED MANHOLE | — PROPOSED CONDUIT 1-3" |
| | — EXISTING CONDUITS |
| | --- PROPERTY LINE |

Sketch to Accompany Petition for the Installation of 25ft (+/-) of 2-3" PVC Conduits Encased in Concrete from MH A92 to City of Salem's Handhole at the corner of Sewall St. and Essex St., Salem, MA 01970.

DISTANCES ARE APPROXIMATE

nationalgrid

Date: 04-27-2022

WORK REQUEST: 12-22-30509371

To The: City Of Salem

For Proposed: 2-3" Conduit Encased in Concrete Location: Essex Street

Drawn By: Sibhita Mahabier-Sheehy



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 12, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I am pleased to appoint Eliud Alcalá to the Council on Aging Board for a three-year term to expire March 1, 2023. Mr. Alcalá will fill the remainder of the term of Julie Carver, who has stepped down from the board. Please join me in thanking Ms. Carver for her dedicated service to our community, to Salem's older adults, and to our Council on Aging.

For the last eight years Mr. Alcalá has served as a business engagement specialist for the Executive Office of Labor and Workforce Development. Prior to that he worked as a human resources coordinator for Bridgewell. Mr. Alcalá holds a doctorate in Family Counseling from Universidad Nuestro Pacto Internacional and a Master's in Theology and Family Counseling from Miami International Seminary. He is a volunteer with the Make-a-Wish Foundation and a board member of the Lynn Hispanic Scholarship Fund, Neighbor to Neighbor, and the Lynn Community Health Center.

I strongly recommend confirmation of Mr. Alcalá's appointment to the board. We are fortunate that he is willing to serve our community in this important role and lend his dedication and insights to the board and its work.

Sincerely,

A handwritten signature in dark ink, appearing to read "Kim Driscoll", is written over a faint, circular official stamp.

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I reappoint, subject to City Council confirmation, Liz McGovern of 8 Lyme Street to the Scholarship and Education Committee for a term of 3 years to expire June 1, 2025.

I recommend confirmation of this reappointment and ask that you join me in thanking Ms. McGovern for her continued dedicated service and commitment to our community.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I reappoint, subject to City Council confirmation, Tyler Carlton of 22 Hancock Street to the Scholarship and Education Committee for a term of 3 years to expire June 1, 2025.

I recommend confirmation of this reappointment and ask that you join me in thanking Mr. Carlton for his continued dedicated service and commitment to our community.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I reappoint, subject to City Council confirmation, David Moisan of 45 Saint Peter Street #311 to the Commission on Disabilities for a term of 3 years to expire June 1, 2025.

I recommend confirmation of this reappointment and ask that you join me in thanking Mr. Moisan for his continued dedicated service and commitment to our community.

Sincerely,

A handwritten signature in black ink that reads "Kimberley Driscoll". The signature is written in a cursive style with a large, stylized 'K' and 'D'.

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I reappoint, subject to City Council confirmation, Gary Santo of 25 Washington Square North to the Licensing Board for a term of 6 years to expire June 1, 2028.

I recommend confirmation of this reappointment and ask that you join me in thanking Mr. Santo for his continued dedicated service and commitment to our community.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I reappoint, subject to City Council confirmation, Mickey Northcutt of 9 Northey Street #1 to the Affordable Housing Trust Fund Board for a term of two to expire May 26, 2024.

I recommend confirmation of this reappointment and ask that you join me in thanking Mr. Northcutt for his continued dedicated service and commitment to our community.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

**Kimberley Driscoll
Mayor**

Office of the Mayor

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, MA 01970

Ladies and Gentlemen of the Council:

Enclosed please find the proposed FY2023 operating and capital budgets for the City of Salem and the Salem Public Schools. I am pleased to submit this proposed expenditure plan and recognize that the coming fiscal year presents unique challenges and opportunities for our community.

As we continue the recovery from the COVID-19 pandemic, the uncertainty of the future course of the virus, as well as the scope of state and federal resources to address it, is complicated by a larger economic picture impacted by global conflicts, historic supply chain and labor issues, and rapidly rising interest rates and prices. Against this backdrop we must also consider the impacts of inflation on energy costs, materials and supplies, and wages, not to mention the unavoidable increase in fixed cost centers with which the City must contend. These contextual challenges are exacerbated by level funding of our school aid from the state, increased state assessments, aging infrastructure, and a housing market where costs and values are rapidly escalating.

There are reasons for optimism, however.

I am proud to say that the pro-active measures we used locally to safeguard, strengthen, and rebuild our local economy during the pandemic have worked. Our revenues are rebounding, and our local economy is coming back stronger than ever. During the pandemic Salem had a net zero loss in businesses and our storefront vacancy rate decreased to 4%. Our local unemployment rate has returned to its pre-pandemic level. We weathered the fiscal challenges without having to draw down substantially from our reserve funds or tap heavily into our levy capacity.

Indeed, Salem should be proud of our record stabilization levels, bond rating, and considerable levy capacity. We have also enjoyed a low average tax bill increase relative to our region and to

the considerable increases Salem endured prior to this administration. Lastly, while net state aid has been reduced and Salem is being disproportionately and negatively treated under the new Chapter 70 formula, we do have the benefit of one-time relief funds from the American Rescue Plan Act (ARPA), the Bipartisan Infrastructure Investment and Jobs Act, the Elementary and Secondary School Emergency Relief Fund, and other federal and state sources that we are working to creatively leverage and apply to one-time needs related to recovery or to investing in our capital needs.

All of this is thanks in large part to a collective partnership between local elected officials to see our way through the early stages of this pandemic as a team united in our efforts to address the impacts of this virus on our community. The professionalism and commitment of City staff, including the early actions taken to support businesses and embrace investment in our city, as well as our thoughtful approach to managing municipal finances all played a hand in our efforts to date to weather pandemic related challenges. Our collaborative partnership with the City Council, small business owners, private and public partners and our neighboring municipalities in the region has helped us to meet our needs and grow back stronger than ever.

The proposed FY2023 Salem budget is \$188,157,262, a change of 3.4% over the FY2022 budget. Fixed costs, such as health insurance, pension and retirement payments, insurance, debt payments, and state and other government assessments, account for about \$1 of every \$3 in the budget and will increase by roughly \$2.5 million in FY2023, accounting for around 40% of the budget increase.

Our schools' budget is \$68,747,963, an increase of \$2,150,044 or 3.2%, over the FY2022 school budget. This does not include school-related costs that appear elsewhere in the budget, such as school employee health insurance increases, unemployment costs, debt for school building projects, and so forth. When those factors are included, a substantial amount of Salem's budget is tied to our schools and our students, easily the largest single area of spending.

The enterprise fund budgets will increase by \$335,929, or 1.7%, over the FY2022 enterprise funds budget, due to increases in assessments for these services and the need for ongoing infrastructure maintenance and upgrades. Ordinances have been submitted to you establishing the water and sewer rates necessary to fund these budgets.

The FY2023 Capital Improvement Plan (CIP) is also included as part of this budget, as are the associated bond orders to fund these capital investments. I am proud that we instituted a practice of including a forward-looking capital plan in our budget each year as a responsible and transparent way of planning for future obligations while meeting present-day needs to best serve Salem residents.

One point you will notice for FY2023 is a larger reliance on "pay-as-you-go" or short-term capital outlays, as well as retained earnings for water and sewer capital and ARPA allocations, all over traditional bonding. This is because rising interest rates make borrowing less cost effective at the current moment, even with our historically high bond rating. This has the additional benefit of lessening our long-term debt service payments. Highlights in the capital plan include \$2.5 million in sidewalks, crosswalks, and roads, over \$1 million in school building

upgrades, signature park projects including the Willows Pier and the next phase of the Pioneer Village/Camp Naumkeag project, a major enhancement of the Mayor Jean Levesque Community Life Center kitchen facility, over \$250,000 for new public safety vehicles, and the first phase of a much-needed overhaul of our critical police and fire radio communication system.

From having around \$35,000 in our stabilization fund when I took office in 2006, we today have over \$14.2 million in that fund thanks to permanent, prudent finance policies that we have worked collectively with the Council to put in place.

Despite the past financial difficulties we faced, Salem remains dedicated to policies that foster economic growth, to stable financial management practices, and to sustainable and transparent budgeting. Since 2006 we have implemented professional financial management standards and our debt payment as a share of the budget has been reduced by 33%. We have been able to accomplish this by leveraging hundreds of millions in grants, as well as PILOT, SILOT, and other tax agreements, and by being responsible, thoughtful, and prudent with tax dollars. Over the last 16 years, the average single-family tax bill in Salem increased by half as much as it did in the 16 years before 2006.

In our budgeting practices, the taxpayers of Salem have always been foremost in mind, and FY2023 is no different. This budget recognizes and respects the impact of property taxes on our residents, especially as many are suffering from the financial hardship afflicting many Americans today. Salem's average tax bill change over the last decade has been well below the average for our region and bolstered by the adoption of as many exemptions and abatements as practical, particularly focused on our neediest taxpayers, including lower income residents, seniors, veterans, and those living with disabilities, as well as through increasing the share of the cost burden being exported to visitors and non-residents through fees and excises. Salem has never sought a Proposition 2-1/2 override and we continue to tax below our allowable levy limit. For FY2023, we will continue to maintain excess levy capacity – in the amount of \$6.2 million – a further demonstration of our prudence and care with taxpayer dollars.

Despite the overwhelming impact of the pandemic on our budgetary situation, it does not diminish the other external influences with which we still must also contend. Whether it is housing needs, fears about growth, the opioids epidemic, changing demographics, or a changing climate, our community is facing many challenges that require strategic and sensible leadership. Indeed, in some respects the pandemic and ensuing economic downturn only exacerbated some of these challenges, such as the need for affordable and available housing.

On the financial side, we continue to see challenges with the state not fully funding their obligations for charter school reimbursements and the existing PILOT with the South Essex Sewerage District failing to adequately compensate our community for hosting this regional facility. Most egregiously this year, an embedded flaw in the state's school aid formula means that Salem will effectively be level funded in Chapter 70 funds for our schools: where other Gateway Cities are seeing an average increase in Chapter 70 funds of around 13%, Salem's increase is just 1%. Aid is increasing to all other Gateway Cities by between \$1.6 million and \$35.8 million; in Salem, our aid is only increasing by \$248,340. Rising health care costs are impacting both the public and private sector and we continue to face the challenge of OPEB and

pension liabilities, not to mention costly sick-leave buybacks, agreed to decades ago, but impacting our retirement stabilization fund now.

We have worked hard to tackle these challenges by allocating funds to reserve and stabilization accounts to plan for the future and by taking actions like entering into the Group Insurance Commission and annually reassessing the cost-effectiveness of that choice. However, the financial challenges presented by these fixed cost centers are still very real and have a real effect on our budget. Despite those pressures and despite the economic setbacks of the past year, the FY2023 budget maintains our dedication to fiscal responsibility while making important investments to strengthen our community.

I am proud of our collective efforts to limit impacts on Salem taxpayers while also providing much needed services to constituents. This is possible due to our joint attentiveness to City finances, as well as our ongoing efforts at identifying efficiencies in the delivery of services.

Our fiscal practices have resulted in not only affirmation of our historic high AA bond rating for the last nine years in a row, but also our regular receipt – for fourteen years in a row – of recognitions and awards from the Government Finance Officers' Association, a national agency that provides professional guidelines for government budgets and fiscal practices.

In its most recent affirmation of the AA bond rating, issued just this month, S&P Global Ratings specifically cited Salem's "robust and strong economy...consistent positive financial operations...[and] strong financial management conditions, including conservative budgeting and long-term financial planning."

Lastly, another key factor in enhancing our local economy and contributing to new revenues to help meet the projected budget deficit are the public and private investments we continue to see in our community. These projects enhance our short- and long-term economic growth, create much needed housing, add to our tax base, and generate jobs. We are projecting the value increase of new growth for FY2023 at around \$1 million; that is \$1 million less burden on existing Salem taxpayers. Without responsible new growth we cannot provide the services and improvements that our constituents rightly demand and deserve. Given the reliable increase in fixed costs to the City and the financial challenges of the past year, a reflexively anti-growth position is equivalent to endorsing substantial tax increases on Salem homeowners and reduction in critical City services like public safety and public works. With appropriate new growth comes much needed housing, commercial enterprises with jobs, and new revenues to support the needs of Salem taxpayers and local government.

In FY2023 we will continue to strive to exceed the service level expectations of our constituents, while simultaneously ensuring fiscal prudence in all expenditures. The mission of City government in Salem is to provide open, honest, and pro-active services effectively and efficiently, focusing on the needs of today, with a vision for the future. To accomplish this, the proposed budget aligns operations with short-term and long-term strategic goals and objectives, while maintaining necessary fiscal controls and a careful attention to our financial forecasts in our budgeting.

Balancing the City's budget in a normal year itself is no easy task and I appreciate the hard work and cooperation our department heads have put into the preparation of this year's budget. I cannot say enough about the efforts made by our Finance Department especially. The department's work ensured that the budget was ready for submission and in compliance with the high standards we set for ourselves pursuant to GFOA Distinguished Budget guidelines. We are one of only a handful of Massachusetts communities who annually qualify for both a Certificate of Excellence for our Comprehensive Annual Financial Reporting and a Distinguished Budget Presentation Award from the GFOA. New this year, in furtherance of the GFOA's prioritization of improving transparency in public budgets, we are proud to offer a "Budget in Brief" summary that quickly highlights the most important parts of the FY2023 City budget.

The proposed FY2023 budget represents a strong commitment to the people we are fortunate enough to have been elected to serve. It continues our balanced and responsible approach to City finances. It invests in the critical services that make Salem a vibrant city and one with schools in which we can all take pride – in short, a stronger, more livable city for all. I recommend adoption of the proposed FY2023 budget, CIP, and other associated budgetary measures and I look forward to working with you in the coming days to enact this proposed spending plan to continue ensuring that Salem is a financially strong and professionally administered community.

Sincerely,

A handwritten signature in dark ink, reading "Kimberley Driscoll". The script is fluid and cursive, with the first name and last name clearly legible.

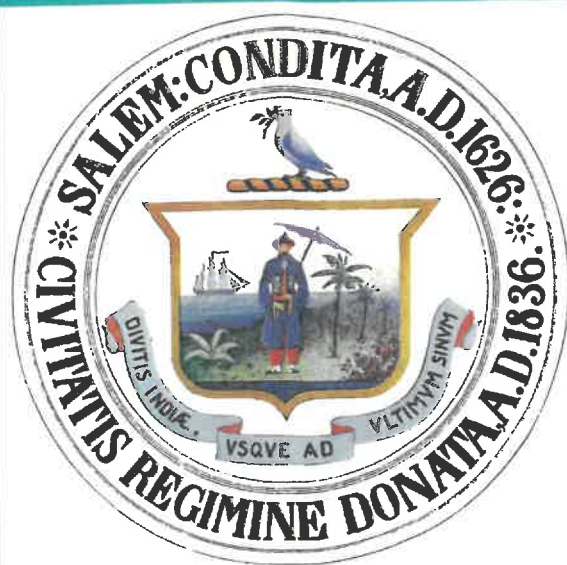
Kimberley Driscoll
Mayor
City of Salem

cc: City of Salem Department Heads



City of Salem FY2023 Budget in Brief

July 1, 2022 – June 30, 2023
www.salemma.gov/FY23



Leading Salem Forward for All

The City of Salem's FY2023 budget lays out an optimistic and forward-looking vision that builds on the City's fiscal strength and its commitment to public services. It is centered in the City's mission statement, **"to provide open, honest, and proactive services effectively and efficiently, focusing on the needs of today, with a vision for the future."**

The budget reflects Salem's commitment to being a community that is accessible, equitable, responsive, and visionary. With Salem's 400th anniversary on the horizon, in 2026, the FY2023 budget lays the groundwork for that historic

occasion and is structured on the foundation of the City's existing fiscal health and shared priorities.



The investments outlined in the FY2023 budget will help continue to make Salem a City that works for all.

The Budget in Brief...Briefly

A City's budget reflects its values and its vision for the future. More than just a technical compendium of numbers, a budget should tell the story of the community that it serves.

Because the budget is such a centrally important document for understanding a City's values and vision, **Salem consistently strives to find new ways to make its budget accessible, transparent, and more understandable.**

This Brief is intended to provide a key overview of the FY2023 budget. You can find the full FY2023 budget online at salemma.gov/fy23.

Budget Snapshot

Salem has received the **Distinguished Budget Presentation award** from the Government Finance Officers Association for the last 14 years in a row, in recognition of the budget document's clarity and level of detail.



FY2023 Key Priorities - 1



Recovery

- Recover from the impacts of the COVID-19 pandemic.
- We do this by (1) aligning investments with funding opportunities also supported by federal and state pandemic relief funds, (2) improving service delivery as residents begin interacting more with one another and their neighbors, and (3) investing in economic, community, housing, school, and public health needs particularly impacted by COVID-19.



Resiliency

- Continue commitments to prepare for the climate crisis and lessen our contribution to it.
- We do this by (1) supporting the new Sustainability Department, (2) investing in projects and programs that meet the goals of the Resilient Together plan, and (3) continuing and expanding transportation innovations to reduce passenger vehicle trips.

FY2023 Key Priorities - 2



Equitable

- Build on Salem's efforts to create a more welcoming and inclusive city for all.
- We do this by (1) investing financially and staff-wise in supporting the new Director of Diversity, Equity, and Inclusion, (2) supporting age-friendly initiatives for Salem's youngest and oldest residents, and (3) structuring services to serve and support historically under-served populations.



Forward Looking

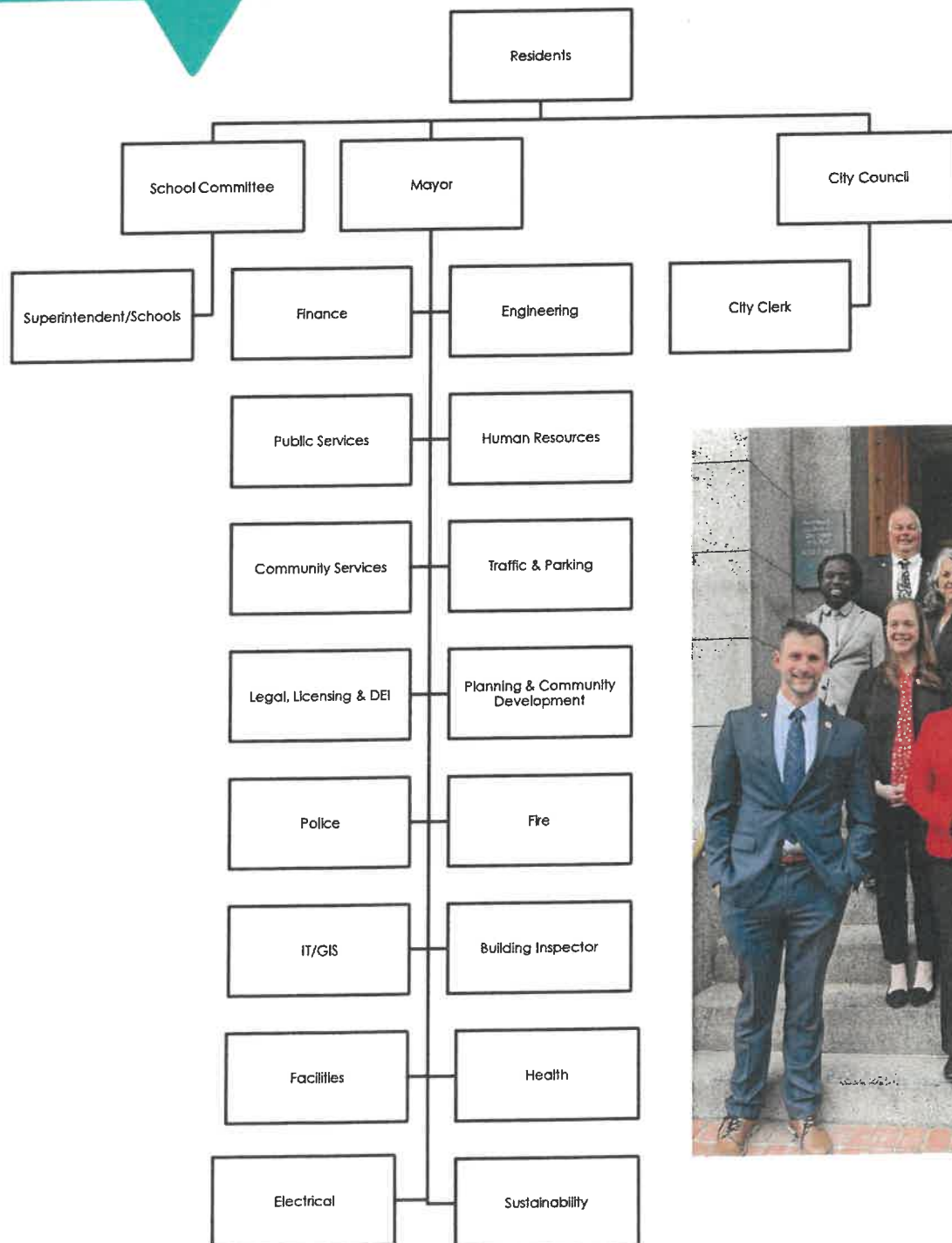
- Instill a long-term vision in the City's plans and actions.
- We do this by (1) remaining focused on capital projects and investments that meet our ADA, park, and historic plans, and our Salem 400 goals, (2) aligning department investments with the City's strategic plan, and (3) supporting the continued excellence of Salem's public schools.

About Salem



- **Population:** 44,480
- **Total employment:** 23,038
- **Number of businesses:** 4,058
- **People who live elsewhere and commute into Salem to work:** approximately 17,000
- **Median household income:** \$66,428
- **Persons in poverty:** 15.9%
- **Median home value:** \$490,000
- **Median condo value:** \$385,000
- **Median rent:** \$2,014
- **Housing units:** 19,631
- **Bachelor's degree or higher:** 45.1%
- **Students in Salem Public Schools:** 3,665
- **Salem High School graduation rate:** 88.9%
- **Economically disadvantaged students:** 67.9%
- **Non-White students:** 57.0%
- **Non-White City population:** 29.4%
- **Speak a language other than English at home:** 21.5%
- **Under 18 years of age:** 15.6%
- **Over 65 years of age:** 16.4%
- **Square miles:** 8.0
- **Road miles:** 115.3
- **Public parks and open spaces:** 43

Structure of Salem's City Government



Forming the Budget

Budget Timeline

- January: Budget message sent by Mayor to Department heads and Superintendent of schools.
- January - February: Department heads develop budget requests.
- March - April: Department heads meet with Mayor to review budgets and capital requests.
- May: School Committee votes on requested budget.
- May: Budget filed with City Council.
- May-June: Council's Administration & Finance Committee holds budget hearings; Council votes on the budget.
- July 1st: New fiscal year begins.
- December: City Council sets tax rate.



Sections of the Budget

- Section 1: Mayor's budget message
- Section 2: Overview of the City of Salem
- Section 3: Overview of the budget
- Section 4: Schools budget
- Section 5: Enterprise Funds budget
- Section 6: Financial forecast, plans, and policies
- Section 7: Capital plan
- Section 8: Department budgets

Budget Snapshot

An **enterprise fund** is a separate accounting mechanism for services for which a fee is charged by the City and for which the revenues and spending are not comingled with the general budget. Salem has four enterprise funds: water, sewer, trash, and cable access.

What's the Budget based on?

The budget in Salem is shaped by six sources of information:

1. Department requests aligned with objectives and the City's strategic plan.
2. Mayor and City Council priorities reviewed at the annual strategic planning retreat and throughout the year.
3. School Committee requested budget based on Superintendent and district input.
4. Annual resident survey and resident feedback gathered throughout the year.
5. Existing plans →
6. Fixed costs.



Some Existing Plans that Shape the FY2023 Budget

- Imagine Salem
- Open Space & Recreation Plan Update
- Race Equity Task Force Plan
- Salem for All Ages Action Plan
- Resilient Together Climate Action Plan
- Pavement Management Plan
- Salem Public Schools Strategic Plan
- Historic Preservation Plan
- Emergency Management Plan
- Housing Needs Assessment
- Bicycling Master Plan
- Public Art Master Plan

Forthcoming Plans that will Shape Future Budgets

- Housing Roadmap
- School Building Master Plan
- Harbor Plan

Revenues for Salem's Budget - 1

○ Property Taxes

- The amount raised by property taxes cannot increase over the previous year's amount by more than 2.5% plus the amount of new growth.
- To do so requires a "Proposition 2-1/2 override" vote by the community, which Salem has never needed.
- If the amount that is raised in property taxes is less than the amount that can be raised, the community has "excess levy capacity," which is seen as a measure of fiscal health. Salem's excess levy capacity in FY2023 will be \$6.2 million, which is considered strong.
- The more new growth a community has, the less it must rely on taxes from existing taxpayers.



○ Local Receipts

Salem has nearly 20 different types of local receipts, which include things like motor vehicle excise, meals excise, license and permit fees, and so forth.

○ Enterprise Funds Revenues

These are payments made by users of enterprise services (water, sewer, trash). Some communities do not include enterprise fund revenues and expenditures in their budget document, however Salem does so to ensure greater transparency.

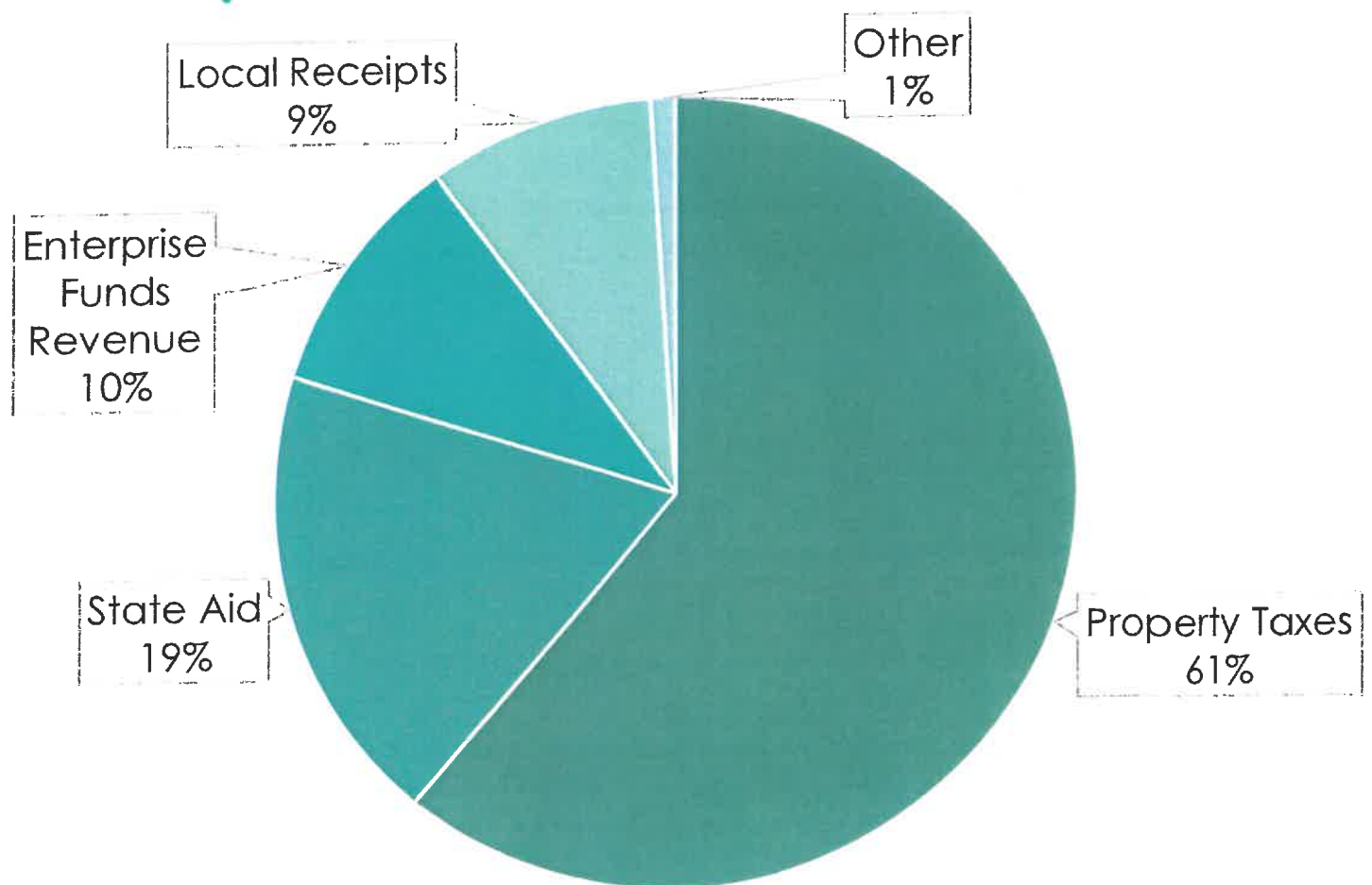
○ State Aid

The largest category of state aid is for schools, however there are other smaller categories of state funding that the City receives, as well.

○ Other

Salem uses excess receipts from City programs like the Witch House and Golf Course to help fund the budget and reduce the amount that must be raised through property taxes.

Revenues for Salem's Budget - 2

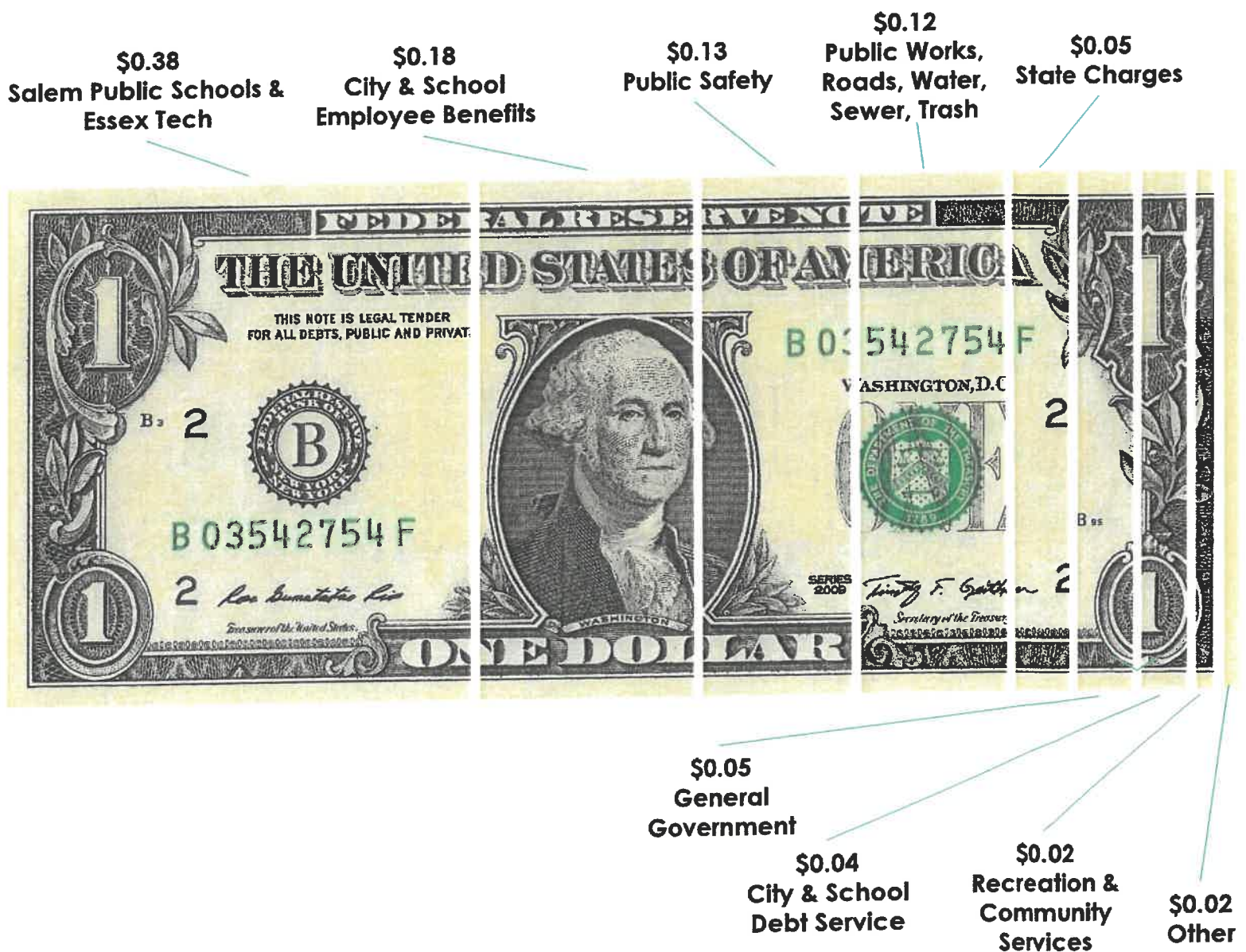


Budget Snapshot

By law, Salem's City budget must be **balanced**. That means that the planned expenditures must be equal to the anticipated revenues. Financial forecasting and revenue projections help estimate what the expected funds will be for the coming year.

Where your tax dollars go

The FY2023 budget totals \$188,151,327, a 3.4% increase over last year's. The City budget is increasing 4.6%, the Schools budget is increasing 3.2%, and the Enterprise Funds budget is increasing 1.7%.



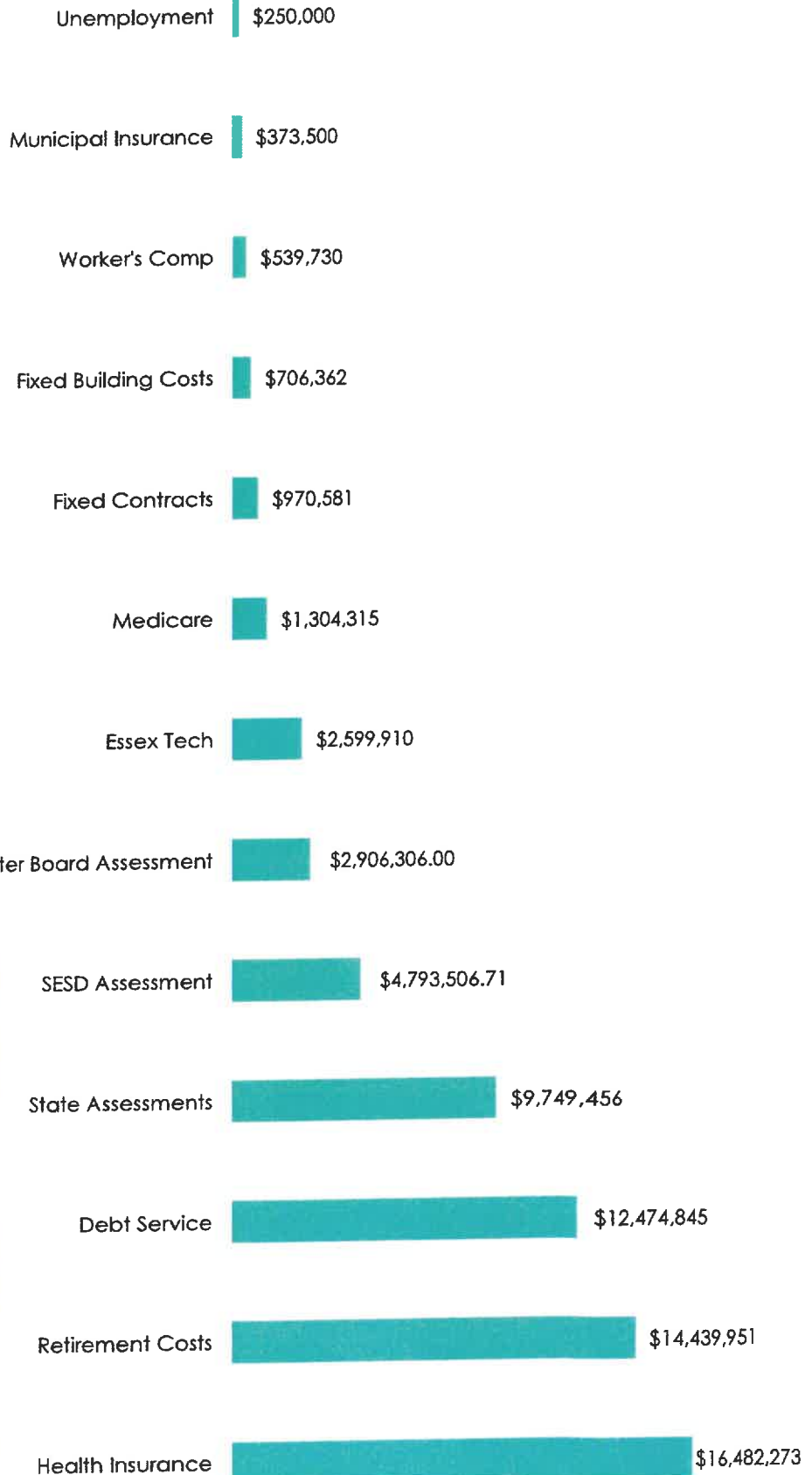
Fixed Costs in Salem's Budget

Fixed costs include debt service, retirement, insurance, and health insurance charges, assessments by the state and other governmental bodies, and contractually required payments. These costs are "fixed" because the City does not have discretion to reduce them.

Fixed costs comprise roughly \$68 million, which is 36% of the City's total budget – in other words, about \$1 of every \$3 spent in the budget is on a fixed cost. In FY2023, changes in fixed costs account for about 40% of the budget's overall increase over the previous fiscal year.

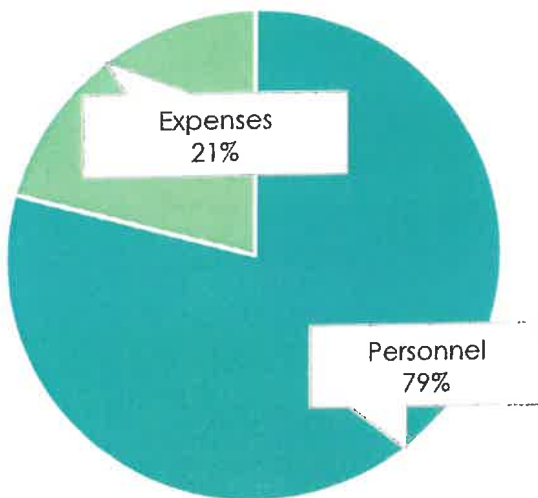


Fixed Costs in the FY2023 Budget



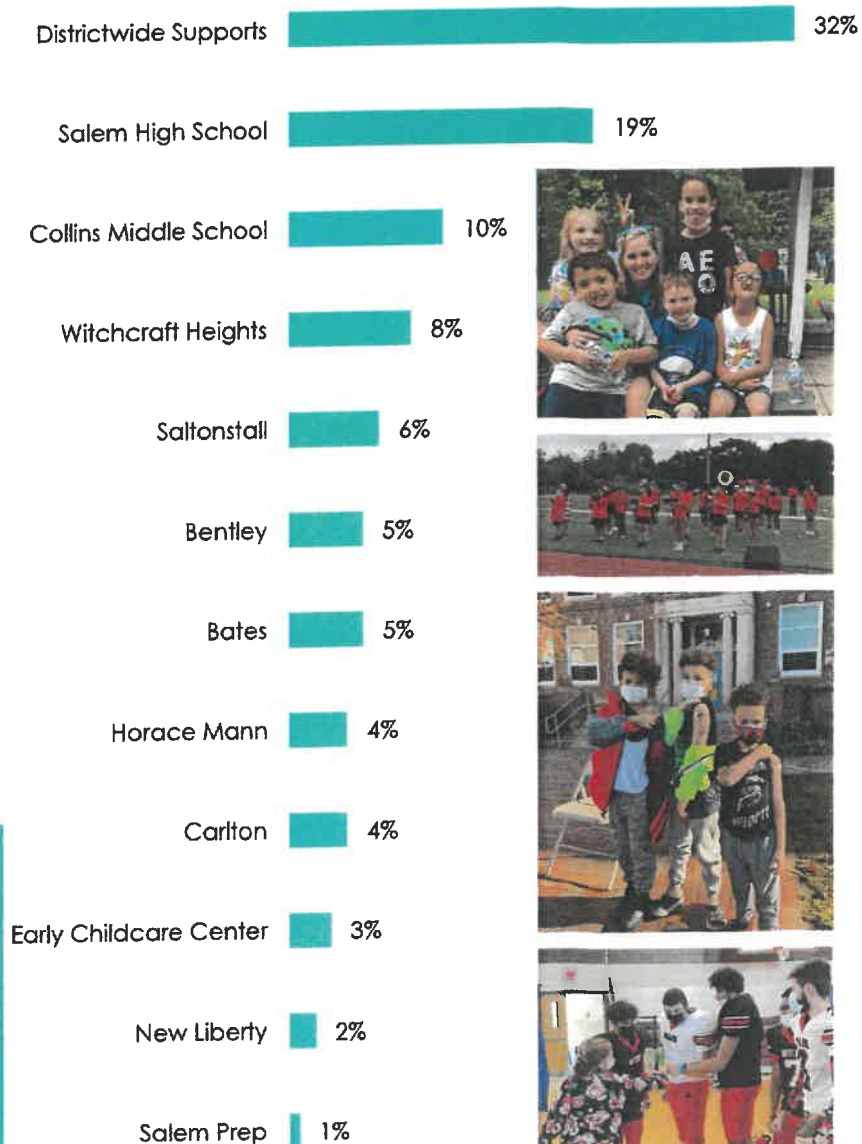
FY2023 Salem Schools Budget

For FY2023, Salem's school budget is \$68,747,963. This does not include school-related costs that are carried on the "City side" of the budget, like school building project debt, health insurance for teachers and other school employees, and so forth.



Budget Snapshot

Around 64 cents of every \$1 Salem spends on schools comes from taxes. The next largest source of **school funding** is state aid, which comprises about 27 cents of every \$1. Despite increasing costs, however, state school aid to Salem is level funded in FY23, increasing the share of the school budget that must be funded by the community.



FY2023 Capital Budget

The capital plan section of the budget, Section 7, outlines capital expenditures for FY2023, as well as those planned for future years, how they are being paid for (borrowing, ARPA and federal grants, etc.), and what their long-term impact is projected to be on the regular budget.

General Capital Highlights

- Pioneer Village Phase 1
- Boston Street Design
- Police/Fire Radio System
- ADA Upgrades
- Road Paving & Sidewalks
- Mack Park Food Farm
- Senior Center Kitchen
- Willows Pier
- Artists Row & Old Town Hall
- School Cameras & HVAC
- Building Energy Efficiencies

Water/Sewer Capital Highlights

- Palmer Cove Storm Drain
- Ocean Ave Pump Station
- Point Catch Basins Project
- Water System Upgrades



Budget Snapshot

Capital are tangible assets or projects with a value of \$25,000 or more and a depreciable life of 5 or more years.

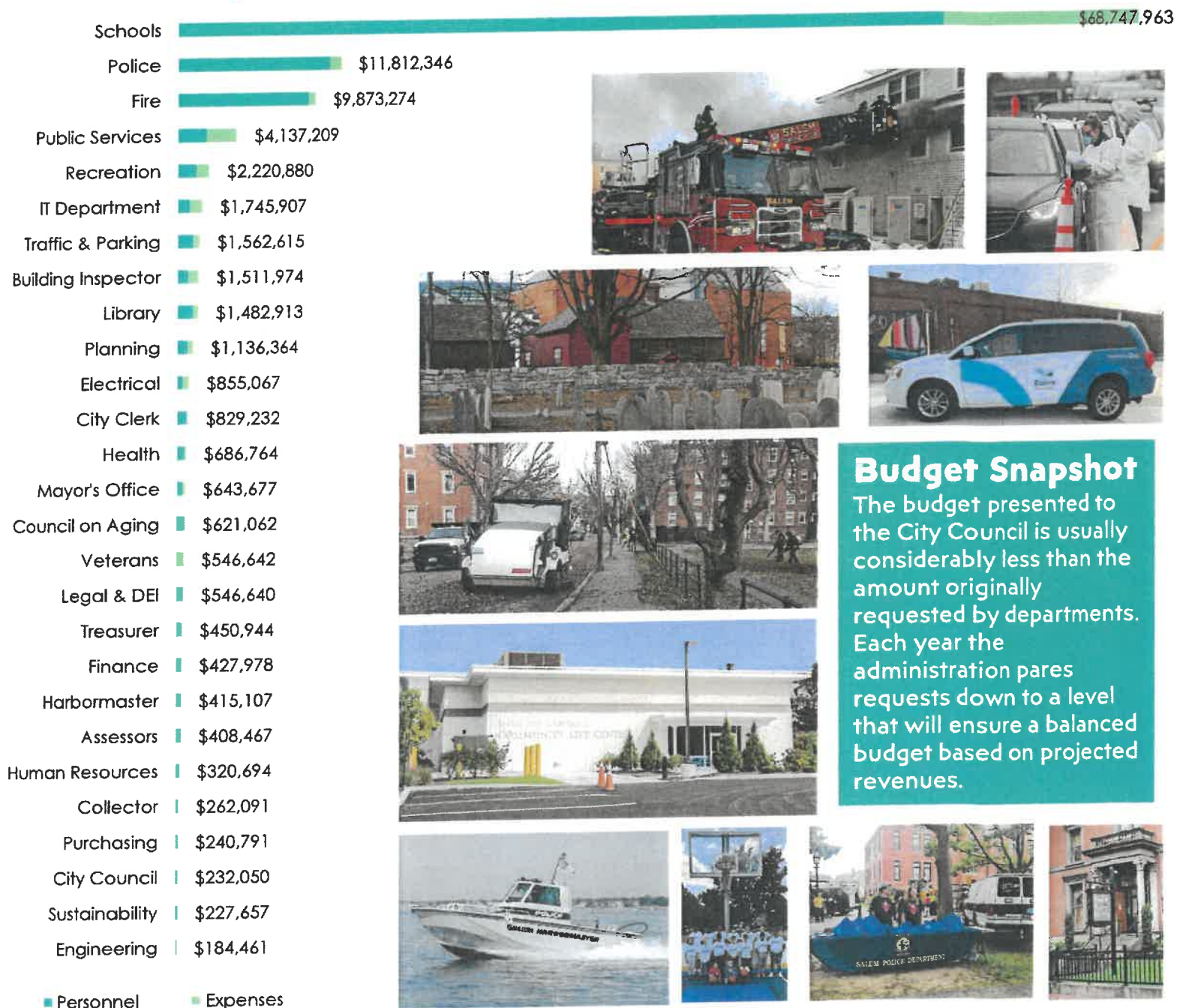
Capital projects and equipment are most commonly funded from **bonds** (borrowing). General capital bonds are paid by tax dollars and water/sewer capital bonds are paid by water and sewer ratepayers. Salem currently has its highest bond rating in its history, meaning its interest rates for capital debt is low. This is counterbalanced, however, by rising inflation and material costs.

ARPA and Salem's FY2023 Budget

The American Rescue Plan Act (ARPA) is a federal law passed in 2021 that provides funds to communities to help them recover from the COVID-19 pandemic. Salem is directing its ARPA funds to a wide variety of community and municipal needs. This list outlines how a portion of those resources will be used in FY2023 to take on critical capital projects that otherwise would be funded by taxpayers. For some projects, ARPA funds are used as the City's match to leverage even more grant funding.

Project	ARPA Funds	Grants Due to ARPA Match
Bicycling Infrastructure	\$50,000	-
Charlotte Forten Memorial	\$50,000	\$75,000
Greenlawn Cemetery Roads and Drainage	\$75,000	-
South Salem Commuter Rail station study	\$93,000	\$372,000
Mack Park Food Farm – phase 3	\$94,105	-
Fire Department Chest Compression Devices	\$96,000	-
Park and Playground Repairs	\$100,000	-
Community Life Center Kitchen	\$140,000	\$35,000
Palmer Cove Park project – phase 2	\$140,000	\$115,000
Outdoor Dining Areas	\$270,000	-
Willows Pier	\$350,000	\$3,250,000
Ocean Avenue Stormwater Pump Station – design phase	\$370,000	\$600,000
Salem High School Rooftop Ventilation Units	\$500,000	-
Pioneer Village - phase 1	\$670,000	-
Old Town Hall restoration – phases 2 & 3	\$1,000,000	\$3,000,000
Police/Fire Radio Communications System	\$2,500,000	\$75,375
Total	\$6,498,105	\$7,522,375

FY2023 Departmental Budgets





CITY OF SALEM

In City Council,

Ordered:

Fiscal Year 2023 General Fund Capital Improvement Program Funded from Bond Authorization as amended below:

Ordered:

That the sum of \$5,745,000 be and hereby is appropriated to pay costs of the following capital equipment and capital improvement projects listed under the heading FY23 CIP- Funded from BOND AUTHORIZATION and for the payment of all costs incidental and related thereto, and that to meet said appropriation the Treasurer, with the approval of the Mayor, is authorized to borrow said sum under M.G.L. Chapter 44, Sections 7 and 8, or pursuant to any other enabling authority, and to issue bonds or notes of the City therefor.

FY2023 CIP-Funded from BOND AUTHORIZATION			
Electrical	FORD F 650 AREAL/Bucket Truck		\$ 175,000
Engineering Municipal	Boston Street Complete Upgrade - Design		\$ 210,000
Engineering Municipal	McGrath Park Soils Remediation -		\$ 300,000
Engineering Municipal	Citywide Roads, Sidewalks, and Crosswalk Improvements (Non-Chapter 90)		\$ 1,200,000
Engineering Municipal	Transfer Station Clean Up Phase 2 Capping		\$ 2,200,000
Police	Police Headquarters - Flooring replacement		\$ 150,000
Public Services	Traffic Division Utility Truck		\$ 170,000
Public Services	DPS Building Project		\$ 250,000
Public Services	JD Front Loader (replacement of loader #41)		\$ 290,000
School	Bates Envelope Repair Project		\$ 75,000
School	Collins Roof/Masonry Repair		\$ 110,000
School	School Life Safety, MEP, Utility, Roof Repairs, Upgrades, Studies		\$ 200,000
School	Districtwide Sprinkler Repairs		\$ 265,000
Sustainability	Comprehensive Energy and Water Upgrades at City and School Facilities		\$ 150,000
TOTAL BOND AUTHORIZATION:			\$ 5,745,000

Be it further

Ordered:

That the Mayor and the Treasurer are each authorized to file an application to qualify under Chapter 44A of the Massachusetts General Laws any and all bonds of the City issued under and pursuant hereto, and to provide such information and execute such documents as may be required in connection therewith.



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Salem City Council
City Hall
93 Washington Street
Salem, MA 01970


Ladies and Gentlemen of the City Council:

Enclosed please find supporting Orders and Ordinances necessary for the adoption of the FY2023 City budget. These items include:

1. Council Order authorizing the revolving funds.
2. Council Order appropriating from short-term capital.
3. Council Order appropriating from retained earnings.
4. Bond Order for general fund capital.
5. Bond Order for water and sewer capital.
6. Ordinance for water rate.
7. Ordinance for sewer rate.
8. Ordinance for solid waste fees.

Additional details about these measures can be found in the FY2023 City budget. I recommend adoption of the enclosed Orders and Ordinances as part of the FY2023 budget process and welcome any questions you may have regarding them during our regular budget hearings.

Sincerely,


Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM

In City Council,

Ordered:

Fiscal Year 2023 Water and Sewer Capital Improvement Program Funded from Bond Authorization as amended below:

Ordered:

That the sum of \$3,600,000 be and hereby is appropriated to pay costs of the following capital equipment and capital improvement projects listed under the heading FY23 CIP – Funded from BOND AUTHORIZATION and for the payment of all costs incidental and related there to, and that to meet said appropriation the Treasurer, with the approval of the Mayor, is authorized to borrow said sum under M.G.L. Chapter 44, Sections 7 and/or 8, or pursuant to any other enabling authority, and to issue bonds or notes of the City therefor.

FY2023 CIP-Funded from BOND AUTHORIZATION			
Water	Pioneer Village Relocation and Expanded Facility Phase 1: Sewer/Water/Stormwater		\$ 100,000.00
Water	Citywide Flushing, Valve Repair/Maintenance, Leak detection, GIS		\$ 400,000.00
Water	Water Distribution Main System Improvements		\$ 800,000.00
Water	Water Transmission Main System Improvements		\$ 1,000,000.00
Sewer	Palmer Cove Park Drain Outfall Installation of Stormwater Treatment		\$ 100,000.00
Sewer	Citywide Drain & Sewer cleaning, inspection, replacement, engineering, GIS, construction		\$ 400,000.00
Sewer	Pioneer Village Relocation and Expanded Facility Phase 1: Sewer/Water/Stormwater		\$ 200,000.00
Sewer	SSES Report Implementation (eliminate I/I sources citywide)		\$ 600,000.00
TOTAL BOND AUTHORIZATION:			\$ 3,600,000

Be it further Ordered:

That the Mayor and the Treasurer are each authorized to file an application to qualify under Chapter 44A of the

Massachusetts General Laws any and all bonds of the City issued under and pursuant hereto, and to provide such information and execute such documents as may be required in connection therewith.



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Salem City Council
City Hall
93 Washington Street
Salem, MA 01970

Ladies and Gentlemen of the City Council:

Enclosed please find supporting Orders and Ordinances necessary for the adoption of the FY2023 City budget. These items include:

1. Council Order authorizing the revolving funds.
2. Council Order appropriating from short-term capital.
3. Council Order appropriating from retained earnings.
4. Bond Order for general fund capital.
5. Bond Order for water and sewer capital.
6. Ordinance for water rate.
7. Ordinance for sewer rate.
8. Ordinance for solid waste fees.

Additional details about these measures can be found in the FY2023 City budget. I recommend adoption of the enclosed Orders and Ordinances as part of the FY2023 budget process and welcome any questions you may have regarding them during our regular budget hearings.

Sincerely,

A handwritten signature in black ink that reads "Kimberley Driscoll".

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM

In City Council,

Ordered:

Ordered:

That the sum of \$3,078,020 be and hereby is appropriated as part of the FY 2023 Capital Improvement Plan to be expended as listed below in accordance with the recommendation of Her Honor the Mayor.

Department	Description	Account	Amount
Assessor	City wide aerial imagery and software that documents changes in parcels	20002301-5846DN	\$ 12,000
Assessor	Justappraised software for entering deeds.	20002301-5846DO	\$ 14,800
Building	ADA Compliance and Associated Improvements	20002322-5846DP	\$ 30,000
Building	City Hall Long Term Restoration Study	20002322-5846DQ	\$ 40,000
Building	Annual Priority Small Repairs, Upgrades, FF&E & Associated Improvements	20002322-5846DR	\$ 75,000
Building	City Hall Phased Short Term Priority Improvements	20002322-5846DS	\$ 85,000
Clerk	High Speed Scanner for Voting and Multilanguage Software	20002303-5846DT	\$ 32,000
Electrical	ADA walk signal buttons	20002308-5846DU	\$ 20,000
Engineering Municipal	Citywide Seawall Improvements and Studies	20002329-5846DV	\$ 50,000
Engineering Municipal	Furlong Park Soil Remediation	20002329-5846DW	\$ 170,000
Engineering Municipal	Essex Street Roadway & Townhouse Sq.	20002329-5846DX	\$ 200,000
Fire	ADA Compliance and Associated Repairs	20002310-5846DY	\$ 20,000
Fire	Lexipol - Standard Operating Guidelines	20002310-5846DZ	\$ 27,000

Fire	Annual Priority Small Repairs, Upgrades, FF&E & Associated Improvements	20002310-5846EA	\$ 30,000
Fire	Bathroom, Women's Locker and ADA Code Upgrades Headquarters Study	20002310-5846EB	\$ 30,000
Fire	Replace Front line response vehicle #2 Deputy Chiefs Car	20002310-5846EC	\$ 50,000
Fire	Vehicles for Fire Prevention inspectional services, safety officer and fire investigation	20002310-5846ED	\$ 66,000
Fire	Fire Station 5 - site improvements	20002310-5846EE	\$ 100,000
Harbor Master	Harbormaster Department Truck	20002311-5846EF	\$ 58,000
IT	IT Lifecycle Management (City)	20002307-5846EG	\$ 190,000
Library	ADA Improvements and Associated Repairs at Library	20002314-5846EH	\$ 10,000
Library	Annual Priority Small Repairs, Upgrades, FF&E & Associated Improvements	20002314-5846EI	\$ 20,000
Library	Repairs to Brownstone Stairs	20002314-5846EJ	\$ 50,000
Park & Recreation	Court/Field and Associated Renovations	20002317-5846EK	\$ 100,000
Park & Recreation	Golf Cart Paths - Phase II	20002317-5846EL	\$ 100,000
Parking	Parking Infrastructure Improvements, EV, and Equipment Install/Maintenance	20002318-5846EM	\$ 50,000
Parking	Garage Improvements - Annual Repairs & ADA Compliance	20002318-5846EN	\$ 80,000
Parking	Fort Ave/Columbus Ave Intersection Re-Design Project	20002318-5846EO	\$ 183,000
Parking	Traffic Calming Capital Improvements	20002318-5846EP	\$ 200,000
Planning	Harmony Grove Multiuse Path Study/Design	20002320-5846EQ	\$ 12,000
Planning	Neighborhood Interpretive Signs	20002320-5846ER	\$ 14,000
Planning	Old Town Hall & Artists' Row Annual Repairs, Minor Renovations, Studies Etc. (non-ADA)	20002320-5846ES	\$ 20,000
Planning	Old Town Hall & Artists' Row ADA Compliance and Associated Repairs	20002320-5846ET	\$ 20,000
Planning	Historic Cemetery Headstone and Tomb Conservation	20002320-5846EU	\$ 30,000
Planning	Artists' Row Roof Repair	20002320-5846EV	\$ 60,000
Police	Small ADA Compliance and Associated Repairs	20002321-5846EW	\$ 15,000

Police	PSGP 2020 Harbor Security Camera Project Expansion	20002321 – 5846EX	\$ 32,500
Police	Salem Police Headquarters General Repairs, Upgrades, FF&E, Studies, and Associated Replacements	20002321 – 5846EY	\$ 35,000
Police	Cameras - Community/Police	20002321 – 5846EZ	\$ 45,000
Police	Body Worn Cameras	20002321 – 5846FA	\$ 67,220
Police	Vehicle Replacement Plan - Patrol and Non Patrol -	20002321 – 5846FB	\$ 187,000
Public Services	Annual Small Repairs, DPS Building Studies - DPS & Cemeteries	20002323 – 5846FC	\$ 15,000
Public Services	ADA Improvements and Associated Repairs- DPS & Cemeteries	20002323 – 5846FD	\$ 20,000
Public Services	Update Safety and SOP for trench safety and general best practices plans and manuals for DPS operations	20002323 – 5846FE	\$ 50,000
Public Services	Expansion of Greenlawn Cemetery Interment	20002323 – 5846FF	\$ 20,000
School	New Liberty and Salem Prep Schools Facility	20002325 – 5846FG	\$ 60,000
School	Architectural/Interior, Site Repairs, Upgrades, Studies Schools	20002325 – 5846FH	\$ 75,000
School	ADA and Associated Repairs Schools	20002325 – 5846FI	\$ 100,000
Sustainability	Environmental Education Signage	20002330 – 5846FJ	\$ 7,500
Sustainability	Climate Change Resiliency Project - Point - Design	20002330 – 5846FK	\$ 100,000
TOTAL CAPITAL OUTLAY FUND			\$ 3,078,020



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Salem City Council
City Hall
93 Washington Street
Salem, MA 01970

Ladies and Gentlemen of the City Council:

Enclosed please find supporting Orders and Ordinances necessary for the adoption of the FY2023 City budget. These items include:

1. Council Order authorizing the revolving funds.
2. Council Order appropriating from short-term capital.
3. Council Order appropriating from retained earnings.
4. Bond Order for general fund capital.
5. Bond Order for water and sewer capital.
6. Ordinance for water rate.
7. Ordinance for sewer rate.
8. Ordinance for solid waste fees.

Additional details about these measures can be found in the FY2023 City budget. I recommend adoption of the enclosed Orders and Ordinances as part of the FY2023 budget process and welcome any questions you may have regarding them during our regular budget hearings.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM

In City Council,
May 26, 2022

Ordered:

That the sum of Four Hundred Five Thousand Dollars (\$405,000.00) is hereby appropriated from the "Retained Earnings – Water/Sewer Fund" account (6000-3120) to the following accounts for the FY2023 capital improvement plan projects as listed below in accordance with the recommendation of Her Honor the Mayor.

FY2023 CIP-Funded from Water/Sewer Fund Retained Earnings		
Sewer – 600132-5877	Point Area Neighborhood Catch Basin Screening & Improvements	\$ 100,000.00
Sewer – 600132-5878	Derby St. Interceptor Sewer Cleaning and Evaluation	\$ 125,000.00
Water – 610032-5879	Replacement of Water/Sewer Utility Truck	\$ 180,000.00
Total:		\$ 405,000.00



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Salem City Council
City Hall
93 Washington Street
Salem, MA 01970

Ladies and Gentlemen of the City Council:

Enclosed please find supporting Orders and Ordinances necessary for the adoption of the FY2023 City budget. These items include:

1. Council Order authorizing the revolving funds.
2. Council Order appropriating from short-term capital.
3. Council Order appropriating from retained earnings.
4. Bond Order for general fund capital.
5. Bond Order for water and sewer capital.
6. Ordinance for water rate.
7. Ordinance for sewer rate.
8. Ordinance for solid waste fees.

Additional details about these measures can be found in the FY2023 City budget. I recommend adoption of the enclosed Orders and Ordinances as part of the FY2023 budget process and welcome any questions you may have regarding them during our regular budget hearings.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM

In City Council,

Ordered:

May 26, 2022

That the sum of Twenty Seven Thousand Dollars (\$27,000.00) is hereby appropriated and transferred from the "Capital Outlay Fund 2000" to ST CIP Planning (20002220-5846DN) for costs associated with contracted services to assist with revisions to the Flood Hazard Overlay District zoning ordinance in accordance with the recommendation of Her Honor the Mayor.



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll

Mayor

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

The Department of Planning and Community Development, in collaboration with the Sustainability and Resiliency Department, is requesting an allocation of \$27,000 in short-term capital for the purpose of hiring a subject-matter expert to assist in the preparation of an updated Flood Hazard Overlay District (FHOD) Special Permit Ordinance.

The recently adopted Wetlands Protection and Conservation Ordinance enhances flood zone protections to preserve ecological functions. At the same time, many public comments highlighted a need to improve flood protections for health, safety, and welfare, for which a zoning ordinance is better suited. Furthermore, in order to remain eligible for federal flood insurance, the City must update its existing FHOD ordinance to reference anticipated flood map changes and comply with the Commonwealth's new model ordinance.

DPCD will collaborate with the Sustainability and Resiliency Department and the specialist to lead a working group and hold a public forum. The draft ordinance will be informed by the substantial public input regarding flood protection that was received during the drafting of the wetlands ordinance. Furthermore, this undertaking will be an implementation strategy of the *Resilient Together Climate Action & Resilience Plan* and the ongoing Point Neighborhood and North River resiliency studies.

I request approval of the enclosed Order and invite you to contact Tom Devine if you have any questions regarding it.

Sincerely,

A handwritten signature in black ink that reads "Kimberley Driscoll". The signature is written in a cursive, flowing style.

Kimberley Driscoll
Mayor
City of Salem

CITY OF SALEM
ST Capital Outlay Expenditure Request Form – FY 2022

From Department: DPCD

Date: May 18, 2022

Department Head Name: Tom Daniel

Authorization Signature: _____



Amount:

\$27,000

Description:

Funding for professional services to work with staff from the Planning and Sustainability Departments on revisions to the Flood Hazard Overlay District zoning ordinance.

For Finance Department Use Only:



City Council Approval Needed (Y/N)

CIP Balance: \$ 6,158,124.46

Recommendation:



Approved



Denied



Finance Director

Processed: **Date:** _____ **By:** _____

CO # _____ **JE#** _____ **Trans #** _____

Org: _____ **Obj:** _____



KIMBERLEY DRISCOLL
MAYOR
TOM DANIEL, AICP
DIRECTOR

CITY OF SALEM, MASSACHUSETTS

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

98 WASHINGTON STREET ♦ SALEM, MASSACHUSETTS 01970
TELE: 978-619-5685

May 18, 2022

Mayor Kimberley Driscoll
Salem City Hall
93 Washington Street
Salem, MA 01970

Re: Short-Term Capital Request for Flood Hazard Overlay District (FHOD) Ordinance Update

Mayor Driscoll:

We are requesting an allocation of \$27,000 in short-term capital for the purpose of hiring a specialist to support DPCD and Sustainability Department staff to update the Flood Hazard Overlay District (FHOD) Special Permit Zoning Ordinance. The update will implement goals identified through recent climate planning efforts and maintain the city's eligibility for federal flood insurance.

The recent update to the City's Wetlands Protection and Conservation Ordinance highlighted the need to review Salem's FHOD ordinance. The new wetlands ordinance includes enhanced protection of Salem's flood zones primarily to maintain their ecological functions. However, the process's public outreach, expert analysis, and review of best practices highlighted the need to review local flood protections that focus on human health, safety, and welfare, which are more appropriately housed within a zoning ordinance. In addition, the City is required to amend the ordinance to reference upcoming flood map updates and comply with the state's model ordinance in order for property owners to remain eligible for federal flood insurance.

Staff will convene a working group and hire an expert in flood zoning to review the existing ordinance, evaluate model policies and best practices, and draft an amended ordinance. The review will draw on the substantial public input regarding flood protection that was received during the wetlands ordinance update and a public forum will be held. In addition, the ongoing *Resilient Together: The Point* and *Resilient North River* initiatives include further outreach and analysis and will provide recommendations for flood mitigation and climate resiliency with citywide applicability. By utilizing an expert consultant, engaging stakeholders, and building upon related local climate planning, the amended ordinance will incorporate thoughtful, science-based best practices to mitigate the impacts of both current and future flooding.



CITY OF SALEM

In City Council,

May 26, 2022

Ordered:

To accept the donation from Friends of the Salem COA in the amount of One Thousand Five Hundred Dollars (\$1,500.00) for the upcoming Father's Day Luncheon and Heritage Days BBQ. These funds will be deposited into the Council on Aging Donation Account #24011-4830 in accordance with the recommendation of Her Honor the Mayor.



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

May 24, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

Enclosed herewith is a request to accept the following donation from Friends of the Salem Council on Aging in the amount of One Thousand Five Hundred Dollars (\$1,500.00) to be deposited into the Council on Aging Fund 24011-4830. This donation is to cover expenses for Father's Day Luncheon and Heritage Days BBQ for Seniors.

In order to accept these two donations approval must be given by both the Mayor and City Council. I ask that the members of the City Council join with me in accepting these funds to be used towards the Council on Aging.

Very truly yours,

A handwritten signature in black ink that reads "Kimberley Driscoll". The signature is written in a cursive, flowing style.

Kimberley Driscoll
Mayor



CITY OF SALEM, MASSACHUSETTS
PARK, RECREATION & COMMUNITY SERVICES
401 BRIDGE ST., SALEM, MA 01970
(978) 744-0924

KIMBERLEY DRISCOLL
MAYOR

PATRICIA O'BRIEN
SUPERINTENDENT

May 19, 2022

Mayor Kimberley Driscoll
~~93 Washington Street~~
Salem, MA 01970

Dear Mayor Driscoll,

The Salem Council on Aging respectfully requests a donation acceptance of \$1,500.00 from the Friends of the Salem COA to be used to pay for the upcoming Father's Day luncheon as well as the Heritage Days BBQ this coming summer. This donation acceptance would defray costs and allow many Salem seniors the opportunity to enjoy these summer events.

Fund 2401
Org/Obj is 24011-4830

Thank you for your consideration.

Sincerely,

Teresa Gove Arnold

Teresa Gove Arnold
Director
Salem Council on Aging



CITY OF SALEM

In City Council,

May 26, 2022

Ordered:

To accept the donation from St. Jeans Credit Union Charitable Foundation Inc. in the amount of One Thousand Dollars (\$1,000.00) for the upcoming Friends of Park and Recreation Golf Tournament at Olde Salem Greens. These funds will be deposited into the Parks and Recreation Donation Account #24061-4830 in accordance with the recommendation of Her Honor the Mayor.



CITY OF SALEM, MASSACHUSETTS

**Kimberley Driscoll
Mayor**

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

Enclosed herewith is a request to accept the following donation from St. Jeans Credit Union Charitable Foundation Inc. in the amount of One Thousand Dollars (\$1,000.00) for the upcoming Friends of Park and Recreation Golf Tournament at Olde Salem Greens. These funds will be deposited into the Parks and Recreation Donation Account #24061-4830

In order to accept the donation approval must be given by both the Mayor and City Council. I ask that the members of the City Council join with me in accepting these funds to be used towards Salem Park & Recreation.

Very truly yours

A handwritten signature in black ink that reads "Kimberley Driscoll". The signature is written in a cursive, flowing style.

Kimberley Driscoll
Mayor



Kimberley Driscoll
MAYOR

Trish O'Brien
Superintendent

CITY OF SALEM, MASSACHUSETTS

JEAN A. LEVESQUE COMMUNITY LIFE CENTER
PARK, RECREATION & COMMUNITY SERVICE
401 Bridge Street, Salem, MA 01970
Tel. (978) 744-0924

May 3, 2022

The Honorable Kimberly L. Driscoll
Mayor, City of Salem
93 Washington Street
Salem, Massachusetts 01970

RE: Friends of Park and Recreation Tourney Sponsor

Dear Mayor Driscoll:

I am writing to request the acceptance of a \$1,000.00 (ck #332) donation from St. Jeans Credit Union Charitable Foundation Inc. To be deposited into Park & Recreation Donation Account (Income account #24061-4830).

This generous donation is for sponsorship of the upcoming Friends of Park and Recreation Golf Tournament at Olde Salem Greens.

Sincerely,

A handwritten signature in black ink, appearing to be "Tricia O'Brien", is written over a horizontal line.

Tricia O'Brien
Superintendent, City of Salem
Jean A. Levesque Community Life Center
(Park, Recreation & Community Services)



CITY OF SALEM

In City Council,

Ordered:

May 26, 2022

Per MGL Chapter 44 Section 64 which allows for a municipality to pay for prior fiscal year invoices using current fiscal year appropriations by two-thirds vote of the City Council we request the sum of Five Hundred Nineteen Dollars and Ninety Nine Cents (\$519.99) of outstanding Fiscal Year 2021 invoices is hereby allowed to be paid from the Fiscal Year 2022 Police Department budget as listed below in accordance with the recommendation of Her Honor the Mayor.

Department	Vendor	Amount
Police	Salem Cycle	\$ 519.99
Total		\$ 519.99



CITY OF SALEM, MASSACHUSETTS
Kimberley Driscoll
Mayor

May 26, 2022

To the City Council
City Hall
Salem, Massachusetts

Ladies and Gentlemen of the Council:

Pursuant to M.G. L. Chapter 44, section 64, enclosed herewith is a request to authorize the payment of the below described Fiscal Year 2021 invoices from the Fiscal Year 2022 Police Department budget.

These invoices were not received by June 30, 2021, the end of the fiscal year.

<u>Department</u>	<u>Vendor</u>	<u>Invoice</u>	<u>Amount</u>
Police	Salem Cycle	050421110339386	\$419.99
Police	Salem Cycle	101020101713858	\$100.00
		Total	\$519.99

M.G.L. Chapter 44, section 64 allows a municipality to pay for prior fiscal year invoices using current fiscal year appropriations by a two-thirds vote of the City Council.

I recommend passage of the accompanying Order.

Very truly yours,

A handwritten signature in black ink that reads "Kimberley Driscoll". The signature is written in a cursive, flowing style.

Kimberley Driscoll
Mayor



CHIEF OF POLICE
LUCAS J. MILLER

City of Salem, Massachusetts
Police Department Headquarters
95 Margin Street
Salem, Massachusetts 01970
(978) 744-2204

May 4, 2022

Mayor Kimberley Driscoll
Salem City Hall
93 Washington Street
Salem, MA 01970

Re: Salem Cycle Invoice #101020101713858 (\$100) and Invoice #050421110339386 (\$419.99)

Dear Mayor Driscoll –

I would like to request the attached invoice in the amount of \$100.00 dated October 10, 2020 and the attached invoice in the amount of \$419.99 dated May 4, 2021 be paid out our Fiscal Year 2022 Police Equipment Budget Line (12102-5862).

Multiple repairs/maintenance were made on bikes and were approved by a Captain. However, due to an oversight, a Purchase Order was never issued and we never received the invoices until May 2022. Our office has spoken with Salem Cycle directly to confirm the work was performed and with the officer in charge as well.

Due to the fact that this expense occurred from Fiscal Year 2021, we are requesting the amount be paid from our FY2022 Police Equipment Budget Line.

Sincerely,

Robert D. Mulligan for
Chief of Police, Lucas J. Miller

RMD: jc
Enclosure

Invoice



050421110339386

Salem Cycle
72 Washington St
Salem, MA 01970
Phone: 978-741-2222
www.salemcycle.com

Bill To

DEEJAY GAGNON
95 MARGIN ST
SALEM, MA 01970-3337

Ship To

DEEJAY GAGNON
95 MARGIN ST
SALEM, MA 01970-3337

Date: 05/04/2021
Sales Person: Connor Oleary
Barcode: 050421110339386
Terms: Net 30

Account Number: 00020653
Purchaser: DEEJAY GAGNON
PO Number: 7002834

Ticket# 1286**WO Date Due: 05/05/2021 4:00 PM**

Repair Item: 3 police bikes

Serial Number:

Save Old Parts: Yes

Located:

Customer: DEEJAY GAGNON
Customer Phone: 508-843-2300
Contact: When ALL REPAIRS are complete
Estimated By Advisor: Connor Oleary
Served By Technician:

Description	Item Number	MSRP	Price	Qty	Extended
Labor - BASIC TUNE-UP	LAB16846566P	\$125.00	\$125.00	3	\$375.00
Labor - CHAIN REPLACEMENT	LAB21268867T	\$20.00	\$20.00	1	\$20.00
CHAIN KMC X9.93 9-SPEED BLACKSILVER	CHA29639995R	\$24.99	\$24.99	1	\$24.99
Subtotal:					\$419.99
Sales Subtotal:					\$419.99
Shipping:					\$0.00
Tax:					\$0.00
Total:					\$419.99
05/04/2021 11:07 AM					Charged To Account: \$419.99
					Amount Due: \$419.99

Salem Cycle, Inc
72 Washington St, Salem, MA 01970
978-741-2222
staff@salemcycle.com
www.salemcycle.com
05/04/2022 2:36 PM Page 1 of 1

Invoice



101020101713858

Salem Cycle
72 Washington St
Salem, MA 01970
Phone: 978-741-2222
www.salemcycle.com

Bill To
DEEJAY GAGNON
95 MARGIN ST
SALEM, MA 01970-3337

Ship To
DEEJAY GAGNON
95 MARGIN ST
SALEM, MA 01970-3337

Date: 10/10/2020
Sales Person: Connor Oleary
Barcode: 101020101713858
Terms: Net 30

Account Number: 00020653
Purchaser: DEEJAY GAGNON
PO Number: PO#7002834

Description	Item Number	MSRP	Price	Qty	Extended
Labor - BRAKE ADJUSTMENT EACH	LAB24713112H	\$25.00	\$25.00	2	\$50.00
Labor - SHIFTING ADJUSTMENT EACH	LAB27579349H	\$25.00	\$25.00	2	\$50.00
Subtotal:					\$100.00
Shipping:					\$0.00
Tax:					\$0.00
Total:					\$100.00
10/10/2020 10:17 AM			Charged To Account:	\$100.00	
04/28/2022 2:05 PM			Paid On Account:	\$100.00	
Amount Due:					\$0.00



CITY OF SALEM

In City Council,

Ordered:

In City Council, May 26, 2022

ORDERED: That the Salem City council vote, pursuant to the provisions of MGL Chapter 44, Section 53E ½ to authorize the establishment of the revolving funds for fiscal year 2023 has herein described. Expenditures from said funds shall not exceed the amount of funds received in the respective accounts or as authorized as stated, shall come from any funds received by respective boards for performing services, shall be used solely for the purpose of implementing the programs delineated and shall be approved by a majority vote of any respective boards in accordance with Her Honor the Mayor.

Dept.	Fund Name	Fund #	Programs & Purposes	Type of Receipts Credited	Authorization for Spending	FY 2023 Budget Request Maximum Annual Expenditures
COA	COA Programs	2374	To defray program costs including instructors, presenters, entertainment, decorations, food, etc.	Revenues and fees charged for programs	COA Director and Mayor	40,000.00
Electrical	Telecom	2376	To fund public information technology, telecommunication and electrical initiatives and projects	Application fees and rental revenue from telecommunications attachments pursuant to sections 12-125 and 12-170 of the City Ordinances	City Electrician and Mayor	50,000.00
Fire	R/A Local Emergency Planning Comm	2433	Training and special equipment needed to respond to hazardous materials incidents per CH 21E	Fees charged to persons spilling or releasing hazardous materials	Fire Chief and Mayor	40,000.00
Harbormaster	R/A WI STORAGE	2368	To Fund Capital items for Harbormaster, maintenance costs of equipment and maritime access projects.	Fees charged for Boat and Float Storage at Winter Island and Kernwood Marina	Harbormaster and Mayor	55,000.00
Health Dept	Health Clinics	2364	To support vaccination program and other Health Promotion activities of the Health Department	Reimbursements from vaccination programs	Health Agent and Mayor	20,000.00
Mayor	Special Events	2361	To cover expenses for Fireworks, bands, portable potties and other unanticipated expenditures	Revenue from RFP's for services from vendors, and from misc sponsorships.	Mayor	125,000.00

Dept.	Fund Name	Fund #	Programs & Purposes	Type of Receipts Credited	Authorization for Spending	FY 2023 Budget Request Maximum Annual Expenditures
Recreation	Winter Island Store	2362	To increase and replenish store inventory as needed and to enhance and maintain Winter Island Store & Facilities.	Revenue from sale of inventory/services at Winter Island.	Recreation Director and Mayor	40,000.00
Recreation	Proctor's Ledge	2384	For Maintenance of Proctor's Ledge site	Revenue of 25 cents from the sale of each ticket at the Witch House.	Recreation Director and Mayor	12,000.00
Recreation	Road Race Fees	2385	For Park Maintenance	Field rental fees and five percent of race and event registration fees.	Recreation Director and Mayor	6,000.00
Recreation	Dog Park	2435	Renovations and Maintenance of Dog Park at Leslie's Retreat Park.	Fee charged for pass to use dog park (pooch pass). \$25. annually for pass.	Recreation Director and Mayor	5,000.00
Recreation	Park & Rec Public Access	2452	To be used for the operation and maintenance of Winter Island and McCabe Marina	Parking and launch fees charged at McCabe Marina & Winter Island	Recreation Director and Mayor	50,000.00
Recreation	Salem Willows Meters	2459	Renovations and Maintenance of Willows Park.	Money generated from Willows Meters	Recreation Director and Mayor	30,000.00
Recreation	Witch House	2499	To support Salem Award committee and the Salem Witch Trial Memorial	25 cent surcharge to tickets beginning in May 2009	Recreation Director and Mayor	10,000.00
Planning & Community Development	Old Town Hall	2373	Maintenance costs of old town hall	Rental revenue of old town hall	Director of Planning and Mayor	50,000.00
Planning & Community Development	Derby Square/Artists' Row	2375	Improvements for Derby Square and Artists' Row including outdoor furniture, signage, lighting, public art, marketing and stipends for performers	Vendor fees from Derby Square Flea/Salvage Art Market, Rent and Vendor Fees at Artists Row	Director of Planning and Mayor	50,000.00
Sustainability/ Planning & Community Development	Utility Energy Credit Fund	2377	To be used for City projects or programs that reduce utility costs, use, and/or emissions. This may include personnel costs associated with participation in the programs that generate the credits.	Credits or payments received for City projects or programs that specifically result in reduction in utility costs, use, or emissions.	Director of Planning and Mayor	250,000.00
Planning & Community Development	Bike Sharing	2383	To receive and expend revenue from bike share program for system operation and promotion	Revenue from rentals and annual memberships	Director of Planning and Mayor	50,000.00

Dept.	Fund Name	Fund #	Programs & Purposes	Type of Receipts Credited	Authorization for Spending	FY 2023 Budget Request Maximum Annual Expenditures
Planning & Community Development	Salem Ferry/Salem Wharf Operational	2453	Fund operational costs of the Salem Ferry and operating, maintenance, capital repairs, security, utilities related to Salem Wharf	Fees received during the season for leasing of the Salem Wharf, MBTA Salem Passes, and fuel reimbursements	Director of Planning and Mayor	500,000.00
Insp Services	Abandoned Prop Maint	2371	To maintain abandoned and foreclosing residential and commercial properties	Registration fees (\$300.00) for vacant and/or foreclosing residential properties.	Inspectional Services Director and Mayor	85,000.00
Public Services	Tree Replacement	New 2330	To replace trees removed during construction as directed by the Tree Warden or Planning Board	Revenue from contributions per the Tree Ordinance or Planning Board decision	Director of Public Services And Mayor	30,000.00
Engineering	Traffic Island	2439	Projects related to City beautification events including Traffic Island, Beautification, and special events	Primarily from: Traffic Island Sponsorships, Special Events Revenues, Event and Beautification effort sponsors	City Engineer and Mayor	20,000.00
					Totals	1,518,000.00



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Salem City Council
City Hall
93 Washington Street
Salem, MA 01970

Ladies and Gentlemen of the City Council:

Enclosed please find supporting Orders and Ordinances necessary for the adoption of the FY2023 City budget. These items include:

1. Council Order authorizing the revolving funds.
2. Council Order appropriating from short-term capital.
3. Council Order appropriating from retained earnings.
4. Bond Order for general fund capital.
5. Bond Order for water and sewer capital.
6. Ordinance for water rate.
7. Ordinance for sewer rate.
8. Ordinance for solid waste fees.

Additional details about these measures can be found in the FY2023 City budget. I recommend adoption of the enclosed Orders and Ordinances as part of the FY2023 budget process and welcome any questions you may have regarding them during our regular budget hearings.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem



City of Salem, Massachusetts

Finance Department
93 Washington Street
Salem, MA 01970
www.salem.com

Kimberley L. Driscoll, Mayor

Anna Freedman, Finance Director

May 24, 2022

The Honorable Kimberley L. Driscoll
Mayor of Salem
93 Washington Street
Salem, Massachusetts 01970

RE: Revolving Funds

Dear Mayor Driscoll:

Massachusetts General Law Chapter 44 Section 53E ½ allows for a city the annually authorized the use of revolving funds by departments which shall be accounted for separately from all other monies in the city. The revenues collected for each program are credited to individual accounts and the expenditures made from these funds can be made without further appropriation in connection with the program that each revolving fund supports.

The City Council shall vote each year prior to the respective fiscal year for the authorization of such account. Attached is a summary of the revolving funds of the City that lists the department, fund name, fund account number, program and purpose, type of receipt credited, and the maximum dollar spending allowance from each revolving fund.

This annual process is part of the budget process, and, as such, I recommend that we authorize all accounts as listed on the attached council order.

Respectfully yours,

A handwritten signature in black ink, appearing to read "Anna Freedman", is written over a circular stamp or seal.

Anna Freedman
Finance Director

City of Salem

In the year ~~two thousand~~ and ~~Twenty-two~~

An Ordinance *to amend an Ordinance relative to Rates for Use of Water*

Be it ordained by the City Council of the City of Salem, as follows:

Section 1.

Chapter 46, Section 66 is hereby amended by deleting subparagraph (b) in its entirety and replacing it with the following:

“(b) The rate for all water furnished by meter measurements effective July 1, 2022, shall be as follows:

- (1) Residential, per 100 cubic feet \$3.72
- (2) Nonresidential, per 100 cubic feet \$5.04

Section 2. Chapter 46, Section 66 is hereby further amended by deleting subparagraph (e) in its entirety and replacing it with the following:

“(e) The minimum rate for residential metered water for each quarter shall be \$37.20 per 1000 cubic feet effective July 1, 2022.

The use of all water and sewer funds and SESD funds shall be excluded from all private development projects.”

Section 3. This Ordinance shall take effect as provided by City Charter.



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Salem City Council
City Hall
93 Washington Street
Salem, MA 01970

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6. Ordinance for water rate.
7. Ordinance for sewer rate.
8. Ordinance for solid waste fees.

Additional details about these measures can be found in the FY2023 City budget. I recommend adoption of the enclosed Orders and Ordinances as part of the FY2023 budget process and welcome any questions you may have regarding them during our regular budget hearings.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem

CITY OF SALEM

In the year Two Thousand and Twenty-Two

An Ordinance to amend an Ordinance relative to Sewer Use Charges

Be it Ordained by the City Council of the City of Salem, as follows:

Section I. Chapter 46, Section 230 is hereby amended by deleting subsection (c) in its entirety and replacing it with the following:

“(c) The rates for sewer use charges effective July 1, 2022 shall be as follows:

Residential, per 100 cubic feet...	\$ 7.58
------------------------------------	---------

Nonresidential, per 100 cubic feet up to 25,000 cubic feet per month	\$11.48
---	---------

Nonresidential, per 100 cubic feet for 25,000 cubic feet and greater per month	\$14.70
--	---------

The use of all water and sewer funds and SESD funds shall be excluded from all private development projects.”

Section II. This Ordinance shall take effect as provided by City Charter.



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Salem City Council
City Hall
93 Washington Street
Salem, MA 01970

Ladies and Gentlemen of the City Council:

Enclosed please find supporting Orders and Ordinances necessary for the adoption of the FY2023 City budget. These items include:

1. Council Order authorizing the revolving funds.
2. Council Order appropriating from short-term capital.
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5. Bond Order for water and sewer capital.
6. Ordinance for water rate.
7. Ordinance for sewer rate.
8. Ordinance for solid waste fees.

Additional details about these measures can be found in the FY2023 City budget. I recommend adoption of the enclosed Orders and Ordinances as part of the FY2023 budget process and welcome any questions you may have regarding them during our regular budget hearings.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem

City of Salem

In the year Two Thousand and Twenty-Two

An Ordinance to amend an ordinance relative to solid waste management.

Be it ordained by the City Council of the City of Salem, as follows:

Section 1.

1) Chapter 36, Section 36-6 Collection fee for certain residences is hereby amended by deleting the fee of "\$20.00" as it appears in paragraph (a) and replacing it with the fee of "\$20.50" and further amending this paragraph (a) by deleting the fee of "\$127.00" and replacing it with a fee of "\$130.25".

2) Chapter 36, Section 36-8 Collection fee for certain commercial establishments is hereby amended by deleting the fee of "\$29.00" and replacing it with the fee of "\$29.75".

Section 2. This Ordinance shall take effect as provided by City Charter.



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Salem City Council
City Hall
93 Washington Street
Salem, MA 01970

Ladies and Gentlemen of the City Council:

Enclosed please find supporting Orders and Ordinances necessary for the adoption of the FY2023 City budget. These items include:

1. Council Order authorizing the revolving funds.
2. Council Order appropriating from short-term capital.
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4. Bond Order for general fund capital.
5. Bond Order for water and sewer capital.
6. Ordinance for water rate.
7. Ordinance for sewer rate.
8. Ordinance for solid waste fees.

Additional details about these measures can be found in the FY2023 City budget. I recommend adoption of the enclosed Orders and Ordinances as part of the FY2023 budget process and welcome any questions you may have regarding them during our regular budget hearings.

Sincerely,

A handwritten signature in black ink that reads "Kimberley Driscoll".

Kimberley Driscoll
Mayor
City of Salem

City of Salem

In the year Two Thousand and Twenty-two

An Ordinance to amend an ordinance relative to special district regulations.

Be it ordained by the City Council of the City of Salem, as follows:

Section 1. The City of Salem Zoning Ordinance Section 8.0 – Special District Regulations is hereby amended by adding a new sub-section as follows:

“8.7 – HALLOWEEN PARKING OVERLAY DISTRICT

8.7.1 Purpose

The purpose of the Halloween Parking Overlay District (“HPOD”) is to augment the underlying zoning regulations in the overlay district to allow for additional necessary off-street parking during periods of peak demand associated with the Halloween season.

8.7.2 Establishment of Halloween Parking Overlay District

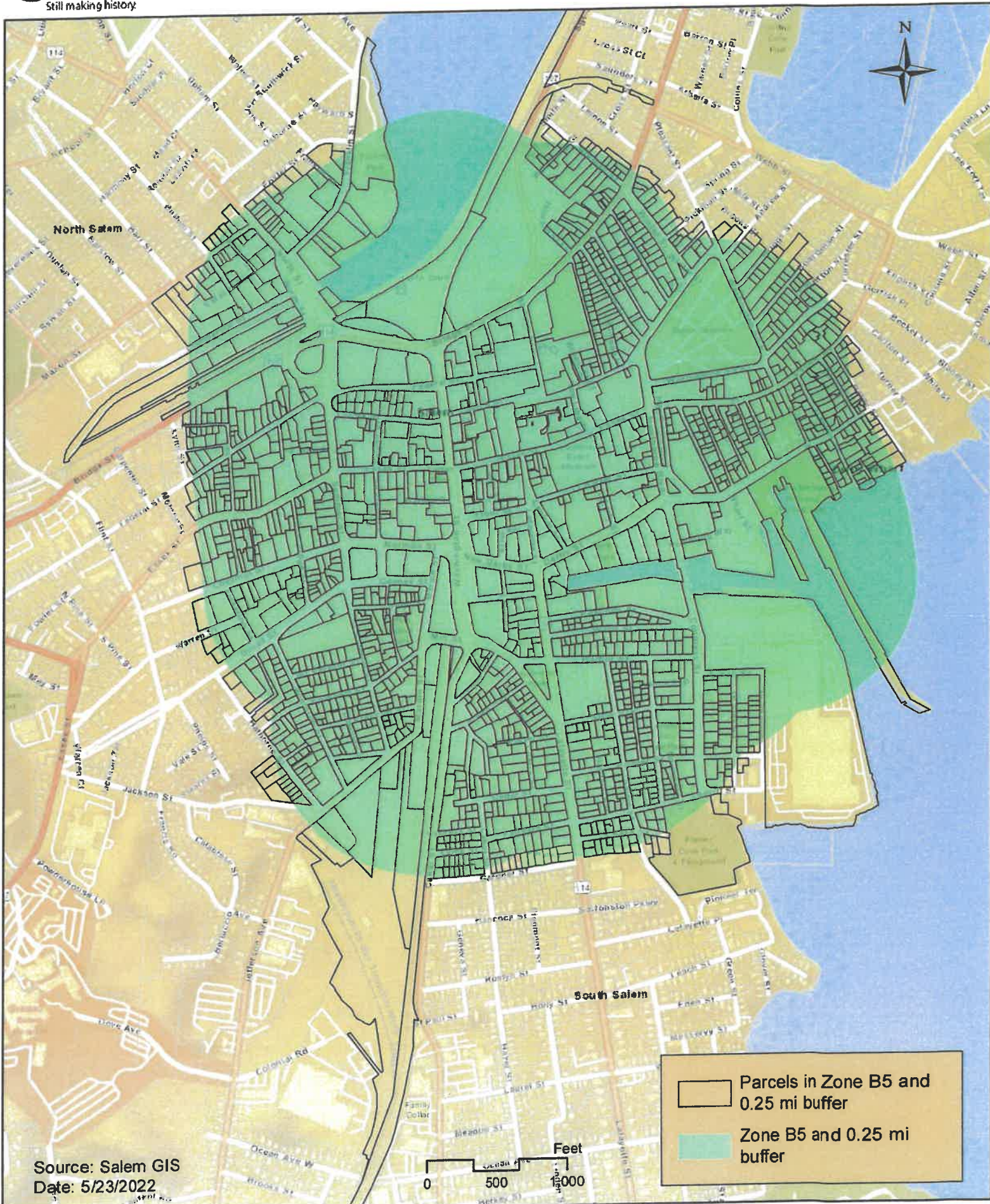
The Halloween Parking Overlay District is hereby established and consists of the area(s) shown on the Map entitled “Halloween Parking Overlay District” on file with the City Clerk, as it may, from time to time, be amended.

8.7.3 Permitted Uses

1. Any use permitted in the underlying zoning district shall be a permitted use in the HPOD.
2. In addition, each year during the period beginning on the Friday preceding October 1 and ending on the first Monday after October 31, Lots in the HPOD lawfully in use for non-residential purposes may be used for independent public parking as follows:
 - a. Parking on any Lot shall only be permitted in spaces that are lawfully existing off-street parking and
 - b. Subject to any regulation adopted by the Traffic and Parking Commission which may include, but not limited to, an application and fee.”

Section II. This Ordinance shall take effect as provided by City Charter.

Halloween Parking Overlay District





CITY OF SALEM, MASSACHUSETTS

**Kimberley Driscoll
Mayor**

Office of the Mayor

May 26, 2022

**Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970**

Ladies and Gentlemen of the City Council:

Each October Salem welcomes hundreds of thousands of visitors. While we have worked hard to encourage them to come by train and ferry, or use the satellite lots and free shuttle, many people still arrive here in private passenger vehicles. Our public parking facilities lack the capacity to accommodate the number of cars that come to Salem in October and, even with our efforts to promote alternative methods of transportation, we need to plan reasonably for future October seasons where we will continue to have a very large quantity of cars driving into Salem.

Each year, private property owners in proximity to the downtown take advantage of this influx of cars to charge for parking on their property. Some keep the money for themselves, while others are more community-minded and donate all or a portion of their revenues from this practice to local nonprofit organizations. To this point, however, the practice of allowing paid parking on these lots where that parking is not related to the principal use the property itself is not consistent with our zoning.

The enclosed Ordinance is intended to provide structure and order to this activity through the creation of a Parking Overlay District from the Friday prior to October to the Monday after October 31 that includes the B5 zone and up to one-quarter mile from the B5. Within those dates and that area, paid parking on private lots would be allowed in a manner consistent with the existing regulations for parking areas in the Zoning code.

As we continue to manage the safety and orderliness of October in Salem, I believe this is a good step forward in that work. It establishes guardrails around a practice that has, to this point, been largely unregulated and difficult to monitor and manage.

I recommend adoption of the Ordinance following the required joint public hearing with the Planning Board and invite you to contact David Kucharsky, Beth Rennard, and Tom St. Pierre with any questions that you may have regarding it.

Sincerely,

A handwritten signature in black ink that reads "Kimberley Driscoll". The signature is written in a cursive, flowing style.

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM

In City Council, May 26, 2022

Ordered:

That, pursuant to MGL c. 32, § 103(j), an increase of the maximum base upon which the cost-of-living adjustment is calculated shall be increased from \$12,000 to \$15,000 for all retirees and beneficiaries of the Salem Contributory Retirement System effective July 1, 2022.



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

Considering inflation and the escalating cost of living, at its meeting on April 27, 2022, the Salem Contributory Retirement Board voted unanimously to increase the base amount used for calculating retirees' cost-of-living-adjustments from its current \$12,000 amount to \$15,000. Of the 102 retirement systems in Massachusetts, this would place Salem just above the average COLA base, of about \$14,100.

The Board, after consulting with their actuarial advisers, determined that an increase at this time would not negatively impact the City's annual appropriation or require an extension of the funding timetable. This is due to the fund's strong performance over the last few years, coupled with a conservative level for the assumed rate of investment return, which the Board also approved on April 27th.

Pursuant to M.G.L. Chapter 32, section 103(j), this change requires approval by the City Council and is therefore being presented to you for a vote this evening. If you have any questions, please contact Finance Director Anna Freedman, the Board Chair Dominick Pangallo, and Salem Retirement's Executive Director Paul Findlen.

Respectfully,

Kimberley Driscoll
Mayor
City of Salem

Part I	ADMINISTRATION OF THE GOVERNMENT
Title IV	CIVIL SERVICE, RETIREMENTS AND PENSIONS
Chapter 32	RETIREMENT SYSTEMS AND PENSIONS
Section 103	SYSTEMS OTHER THAN STATE EMPLOYEES' RETIREMENT SYSTEM AND TEACHERS' RETIREMENT SYSTEM; COST-OF LIVING; FUNDING SCHEDULE; ANNUAL DETERMINATION OF CHANGES; SUPPLEMENTAL PAYMENTS

Section 103. (a) Any system other than the state employees' retirement system and the teachers' retirement system may, by accepting the provisions of this section as hereinafter provided, elect to establish a cost of living adjustment calculation pursuant to this section; provided, however, that such system shall have established a funding schedule pursuant to the provisions of subdivision (6A) of section 22 or section 22D. Such election shall be made by majority vote of the board of such system, subject to the approval of the legislative body. For the purposes of this section, legislative body shall mean in the case of a city the city council in accordance with its charter, in the case of a town the town meeting, in the case of a county the county retirement board advisory council, in the case of a district the district members, and in the case of an authority the governing body. The base amount upon which such cost of living adjustment shall be calculated shall be \$12,000. Acceptance of this

section shall be deemed to have occurred upon the filing of certification of such votes with the commission. A decision to accept the provisions of this section may not be revoked.

(b) For each system that has accepted the provisions of this section, the board, in consultation with the commission, shall prepare a funding schedule which shall reflect the costs and the actuarial liabilities attributable to the cost of living allowance that may be paid in accordance with the provisions of this section and said schedule shall be designed to reduce the applicable retirement system's additional pension liability to zero by such year as approved by the commission. The board shall file revised funding schedules triennially with the joint committee on public service until such costs and liabilities are reduced to zero.

(c) On April 1 of each year, the commission shall send to every system that has accepted the provisions of this section the report prepared in accordance with paragraph (f) of subdivision (3) of section 21. Such report shall be subject to the review of the retirement board of such system after said April 1. In the event that the board determines that the cost of living adjustment recommended by said report shall substantially impair the funding schedule of said system, the board may elect not to pay a cost of living increase for said fiscal year and shall file notice of its election not to pay and analysis of the impact on the funding schedule with the commission within 30 days of its action. In the event that the board votes to adopt the cost of living increase recommended by said report, it shall file notice of its election to pay with the commission within 30 days of its action and the retirement allowance, pension or annuity of every member of the system who has received a retirement allowance, pension or annuity on June 30 of the prior fiscal year, or of a spouse or other beneficiary of such member who has received a

retirement allowance, pension or annuity on June 30 of the prior fiscal year, shall be increased by the percentage as recommended by said report. Said cost of living increase shall be funded from the investment income account of the system. The sum of the dollar amount of each cost of living increase, together with the amount of retirement allowance, pension or annuity to which the cost of living per cent factor is applied, shall become the fixed retirement allowance, pension or annuity for all future purposes, including the application of subsequent cost of living adjustments in future years.

(d) Whenever the amount of any retirement allowance, pension or annuity is revised in accordance with the provisions of this section, the monthly payment provided for in section 13 shall be recomputed on the basis of such revised retirement allowance, pension or annuity, and one-twelfth of such new figure shall be due and payable each month. In any case where such revised retirement allowance, pension or annuity cannot be administratively determined in time for adjusting the monthly payment for July pursuant to said section 13, such cost of living adjustment shall be added to the monthly retirement allowance, pension or annuity in August or September, as the case may be.

(e) In any case where such former employee, spouse, or other beneficiary is receiving an annual retirement allowance, pension or annuity which is equal to or in excess of the maximum base amount set by the board and approved by the legislative authority pursuant to clause (i) of paragraph (a) exclusive of an additional annuity obtained by special purchase under paragraph (g) of subdivision (1) of section 22 or any similar law, the cost of living adjustment shall be in an amount determined by applying the percentum of change set by the board pursuant to said paragraph (c) to said maximum base amount. When a cost of living adjustment is granted

pursuant to paragraph (c), the dollar amount of such increase as determined in said paragraph (c) shall be added to each retirement allowance, pension or annuity which is in excess of said maximum base amount. The sum of the dollar amount of such cost of living adjustments, together with the amount of retirement allowance, pension or annuity to which the cost of living percentum factor is applied and any amounts in excess of said maximum base amount shall become the fixed retirement allowance, pension or annuity for all future purposes including the application of subsequent cost of living adjustments in future years; provided, however, that the limitations of this paragraph shall continue to apply.

(f) Whenever the amount of any retirement allowance, pension or annuity is revised in accordance with the provisions of subsection (c), the monthly payment provided for in section 13 shall be recomputed on the basis of such revised retirement allowance, pension or annuity and one-twelfth of such new figure shall be due and payable each month. In any case where such revised retirement allowance, pension or annuity cannot be administratively determined in time for adjusting the monthly payment for July pursuant to said section 13, such cost of living adjustment shall be added to the monthly retirement allowance, pension or annuity in August or September, as the case may be.

(g) Notwithstanding any provision of this section to the contrary, the supplemental payments due and payable to a spouse receiving the minimum allowance under the provisions of option (d) of subdivision (2) of section 12, or under section 101, or under the provisions of chapter 526 of the acts of 1963 to any spouse, child or children under the provisions of section 12B, shall be, at all times, in an amount equal to the cumulative percentum of change in the cost of living resulting from the

determination by the life actuary, with the average of the cost of living for the year 1972 serving as the basis of the comparison to be made by the actuary as set forth in paragraph (a) of section 102.

(h) Whenever a cost of living adjustment is granted pursuant to this section, a former employee of a county, city, town, district, or authority, or spouse or other beneficiary of such employee, who is receiving a noncontributory pension from such governmental unit under the provisions of this chapter or under corresponding provisions of earlier laws or any general or special law, shall receive the same cost of living adjustment from such governmental unit in accordance with the applicable provisions of this chapter or under corresponding provisions of earlier laws or any other general or special law, if the legislative body of such governmental unit accepts this paragraph by a majority vote. For purposes of this paragraph, legislative body shall mean in the case of a city the city council in accordance with its charter, in the case of a town the town meeting, in the case of a county the county retirement board advisory council, in the case of a district the district members, and in the case of an authority the governing body.

(i) Notwithstanding the provisions of paragraph (c) to the contrary, the board of any system may, by accepting the provisions of this as hereinafter provided, elect annually to pay a cost-of-living increase greater than the percentage increase, as recommended in the report prepared in accordance with paragraph (f) of subdivision (3) of section 21 for that year, but not greater than 3 per cent. The board shall conduct such election in a public meeting, properly posted, called specifically for such election. The board shall also notify each legislative body at least 30 days before such election.

Acceptance of this subsection shall be by a majority vote of the board of such system, subject to the approval of the legislative body. For the purpose of this section, "legislative body" shall mean, in the case of a city, the city council in accordance with its charter, in the case of a town, the town meeting, in the case of a county, the county retirement board advisory council, in the case of a district, the district members, and, in the case of an authority, the governing body. Acceptance of this subsection shall be deemed to have occurred upon the filing of the certification of such vote with the commission. A decision to accept the provisions of this subsection may not be revoked.

(j) Notwithstanding paragraph (a), the board of any system that establishes a schedule pursuant to section 22D or 22F, may increase the maximum base amount on which the cost-of-living adjustment is calculated, in multiples of \$1,000. Each increase in the maximum base amount shall be accepted by a majority vote of the board of such system, subject to the approval of the legislative body. For the purpose of this section, "legislative body" shall mean, in the case of a city, the city council in accordance with its charter, in the case of a town, the town meeting, in the case of a district, the district members, and, in the case of an authority, the governing body. In the case of a county or region, acceptance shall be by the county or regional retirement board advisory council at a meeting called for that purpose by the county or regional retirement board that shall notify council members at least 60 days before the meeting. Upon receiving notice, the treasurer of a town belonging to the county or regional retirement system shall make a presentation to the town's chief executive officer, as defined in paragraph (c) of subdivision (8) of section 22, regarding the impact of the increase in the cost-of-living adjustment base, the failure of which by a treasurer shall not

impede or otherwise nullify the vote by the advisory council. Acceptance of an increase in the maximum base amount shall be deemed to have occurred upon the filing of the certification of such vote with the commission. A decision to accept an increase in the maximum base amount may not be revoked.

Ilene Simons

From: Caroline Watson-Felt
Sent: Tuesday, May 24, 2022 2:10 PM
To: Ilene Simons
Subject: Fwd: Letter from Mass Retirees

Hi Ilene - will this be in the backup by any chance this week? Thanks!

Get [Outlook for iOS](#)

From: Conrad J. Prosniewski <cprosniewski@Salem.com>
Sent: Tuesday, May 24, 2022 1:57:19 PM
To: Andrew Varela <avarela@Salem.com>; Jeff Cohen <jcohen@Salem.com>; Patricia Morsillo <pmorsillo@Salem.com>; Domingo J. Dominguez <ddominguez@Salem.com>; Ty Hapworth <thapworth@Salem.com>; Robert McCarthy <rmccarthy@Salem.com>; Megan Riccardi <mriccardi@Salem.com>; Alice R. Merkl <amerkl@Salem.com>; Caroline Watson-Felt <cwatsonfelt@Salem.com>; Leveille McClain <lmcclain@Salem.com>
Subject: Letter from Mass Retirees

Councilors, in case you haven't received it, I am forwarding you a letter from President Frank Valeri, Mass Retirees Association, regarding the COLA increase we will be voting on this Thursday.
Thank you.



To the Honorable Salem City Council:

As President of the *Mass Retirees* Association, representing many of your Salem Retirees and some 52,000 retirees statewide, please accept this message of support for the Salem retiree COLA base increase, which is before you for this upcoming Thursday's May 26th City Council meeting.

I am respectfully asking you to approve the Salem Retirement Board's request to increase the Salem retirees COLA base from \$12,000 to \$15,000.

This represents the **first increase to the City's COLA base in 24 years**. It is long overdue, especially given the excellent investment returns the Salem Retirement System has generated for the City. Over the past 5 years alone the fund has gained on average a 10.29% return, not including last year's gains that provided another double digit return.

Most importantly, your retirees have only received a **maximum** COLA benefit of \$360 annually. This is unacceptable in today's economic climate. Thankfully the City has the resources to improve this benefit starting in FY23.

Essentially, you will be establishing a **maximum** annual COLA of \$450 for your retirees going forward. Certainly a step in the right, especially for the many of the older and lower paid retirees of the Salem Retirement System.

Thank you for your consideration. Please do not hesitate to contact me directly should you have any questions or concerns.

Respectfully,

Frank Valeri, President
Mass Retirees Association

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RESOLUTION TO FILE AND ACCEPT GRANTS WITH AND FROM THE COMMONWEALTH OF MASSACHUSETTS, EXECUTIVE OFFICE OF ENERGY AND ENVIRONMENTAL AFFAIRS FOR THE LAND AND WATER CONSERVATION FUND GRANT PROGRAM FOR IMPROVEMENTS TO THE FOREST RIVER PARK for the FOREST RIVER OUTDOOR RECREATION & NATURE CENTER

Whereas: The Forest River Park is by far a community-wide asset and the preservation and improvements to this facility are a City priority as evidenced in the most recent Open Space and Recreation Plan; and
Whereas: The Forest River is dedicated to park and recreation purposes under M.G.L. Chapter 45, Section 3; and

Whereas: The Forest River Park's ultimate restoration, guided in principle by the Open Space Plan, will greatly enhance this facility with improved pool, water recreation, infrastructure, path systems, site lighting, universal access, nature education opportunities, wildlife viewing, bathhouse, tree and landscape planting, restored coastal resource areas etc.; and

Whereas: The main focus of the project is to provide an accessible, affordable, resilient pool, recreation, and nature center for use by Salem residents and other communities. This overall cost and fiscal budget constraints prevented the City from proceeding forward with implementation as one project; and

Whereas: The project was instead viewed as a series of phases, to be implemented over time, by priority as fiscal resources were available, with the intention of securing grant funding, when and if available, to assist in this effort; and

Whereas: The Executive Office of Energy and Environmental Affairs (EEA) is offering reimbursable grants to cities and towns to support the preservation and restoration of urban parks through the Land and Water Conservation Fund Act (P.L. 88-578, 78 Stat 897); and

Whereas: the Forest River Outdoor Education and Nature Center will cost a total of \$13.1M (Thirteen million, one hundred thousand dollars) and the City has allocated \$13.1M in Community Preservation Act Funds, capital improvement plan bonds, bond premiums, water and sewer enterprise bonds, and other sources.

NOW, THEREFORE, BE IT RESOLVED

1. That the Mayor be and is hereby authorized to file and accept grants from the Executive Office of Energy and Environmental Affairs; and
2. That the Mayor be and is hereby authorized to take such other actions as are necessary to carry out the terms, purposes, and conditions of this grant to be administered by Parks and Recreation and Engineering Departments; and
3. That this resolution shall take effect upon passage



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, MA 01970

Ladies and Gentlemen of the Council:

I am pleased to notify you that the Forest River Outdoor Recreation and Nature Center Project has been selected by the Commonwealth of Massachusetts and the National Park Service to receive up to \$750,000 in federal Land and Water Conservation Fund grant assistance.

The awarding of this grant will reduce the amount of City funds necessary to be directed toward the project. In order to accept these funds, the City Council is required to adopt the enclosed Resolution as drafted.

I recommend adoption of the enclosed Resolution and invite you to contact Jenna Ide should you have any questions regarding this matter.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem



Resolution

Recognizing Hale Bradt for his commitment to historic preservation

WHEREAS: Around 1910 the Almy, Bigelow & Washburn Department Store on Essex Street in Salem, close to its 50th anniversary, installed an E. Howard Clock Company post clock outside its store; and,

WHEREAS: As part of a refurbishment in the 1980s, the original clock faces were removed and new ones added to the clock; and,

WHEREAS: In 2021 the City of Salem began a preservation project to restore and refurbish the clock as an important landmark and reminder of downtown Salem's important role in the 20th century commercial economy of the region and in the memories of generations of Salem residents who have fond remembrances of shopping or working at Almy's and other large department stores of the time; and,

WHEREAS: As part of that current historic preservation and restoration project on the clock, the 1980s faces were removed to be replaced by more historically appropriate faces; and,

WHEREAS: Mr. Hale Bradt, a Salem resident of the Essex Condominiums next to the clock, played a leading role in volunteer efforts to repaint the clock and faces and repair the clock workings over the past many years, and was a vocal advocate for the clock's restoration; and,

WHEREAS: When Electric Time Co. removed the 1980s faces for the current preservation project, Mr. Bradt, at his own expense, paid to have the 1980s faces electrified and kept operable, one to be displayed in the Essex Condominiums, which has supplied the electricity to keep the clock operating since Almy's closed in 1985, and the other in a City building for public viewing.

NOW THEREFORE BE IT RESOLVED: That the Mayor and City Council do hereby recognize and honor Hale Bradt on National Preservation Month May 2022 for his many years of commitment to the community and to the preservation and restoration of the historic Almy's Clock and his generosity and dedication in saving and sharing for future generations a unique and special symbol of Salem's 20th century history, and direct the City Clerk to provide a copy of this Resolution and a Seal of the City of Salem to Mr. Bradt in appreciation for his efforts.



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

Office of the Mayor

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

The enclosed Resolution recognizes the commitment of Salem resident Hale Bradt to the preservation of the historic Almy's Clock on the Essex Street pedestrian mall.

As we bring National Preservation Month, this May, to a close, it is fitting to celebrate the dedication of a community member who has made a tremendous investment of his own time and funds to the restoration and continued operation of this important downtown landmark.

I recommend adoption of the enclosed Resolution and invite you to join me in thanking Mr. Bradt for his years of commitment to the Clock and to our community.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

May 26, 2022

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

In the fall of 2021, the City of Salem kicked off a planning process to develop the *Salem Housing Roadmap: A Housing Plan for All*. The Housing Roadmap is intended to serve as the City of Salem's Housing Production Plan, a state-recognized planning tool that assists municipalities in identifying the location, type, and pace of affordable housing development. I am pleased to inform you that the draft plan will be ready for review in June and that it will be transmitted to you and posted publicly for review in the coming weeks.

The Roadmap has been guided by a Steering Committee comprised of City Councillors, members of the Affordable Housing Trust Fund Board, Planning Board, Housing Authority, Board of Health, Redevelopment Authority, Salem for All Ages, public schools, Council on Aging, and affordable housing finance professionals. Thanks to the tremendous efforts of the Steering Committee, over 500 points of community participation have occurred to date through stakeholder interviews, focus groups, online community forums, online and paper surveys, and Meeting-in-a-Box sessions. Through the multiple engagements people have shared their perspectives on housing needs, issues, and opportunities in Salem and set the direction for the Roadmap's vision, goals, and strategies.

The next step is to refer the matter to a mid-June meeting with the Committee of the Whole and the Planning Board to review and approve the plan. That meeting should take place after the draft plan has been completed and shared with you, the Planning Board, and the public, and with enough time to allow for people to read it prior to the meeting. I look forward to discussing the Roadmap with you and invite you to contact Amanda Chiancola, Deputy Director of Planning and Community Development, if you have any questions regarding this initiative.

Sincerely,

Kimberley Driscoll
Mayor
City of Salem

Chapter 8 ANIMALS¹

ARTICLE I. IN GENERAL

Sec. 8-1. Appointment of inspector of animals.

An inspector of animals for the city shall be appointed in the manner as provided in M.G.L.A. c. 129, § 15. The animal control officer shall be a member of the police department under the supervision of the chief of police.

(Code 1973, § 5-1; Ord. of 6-29-2006, § I)

Secs. 8-2—8-30. Reserved.

ARTICLE II. DOGS

DIVISION 1. GENERALLY

Authority and purpose

The purpose of these updates is to further protect the health and well-being of our wildlife, domesticated animals, and our residents to minimize the disruption of our wildlife's natural feeding patterns.

This chapter is adopted pursuant to the authority of M.G.L. c. 140, §§ 136A to 137A, inclusive, and any other relevant statutes and regulations promulgated pursuant thereto. The purpose of this chapter is to establish regulations for the keeping of dogs in the City of Salem. The definitions of all words and terms used herein shall be as set forth in M.G.L. c.140, §§ 136A to 137A.

Sec. 8-31. License.

- (a) Whoever owns or keeps a dog that is six months old or over in the city shall obtain a license therefor from the city clerk.
- (b) The city clerk shall not grant such license for any dog unless the owner thereof provides the clerk with either a veterinarian's certification that such dog has been vaccinated in accordance with section 8-38 or a notarized letter from a veterinarian that a certificate was issued.

¹State law reference(s)—Animals generally, M.G.L.A. c. 129; dogs generally, M.G.L.A. c. 140, § 136A et seq.

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- (c) The owner or keeper of a licensed dog shall cause it to wear around its neck or body a collar or harness of leather or other suitable material, to which shall be securely attached a tag in a form prescribed by the city clerk and upon which shall appear the license number for the current year.
 - (d) Whoever violates this section shall be subject to a fine of \$25.00.
 - (e) Any person failing to pay the fine stated in subsection (d) of this section within the 21 days provided will be subject to a surcharge of \$25.00 in addition to the fine due.
- (Code 1973, § 5-2; Ord. of 6-1-99, § I; Ord. of 5-25-2006, § I(1))

Sec. 8-32. Issuance of chapter on first issuance of license.

Every dog owner shall receive, upon first issuance of a dog license, a copy of this chapter.

(Ord. of 10-9-1997, § 1(5-2.1))

Sec. 8-33. Term of license.

Dog licenses issued pursuant to this division shall expire on April 1 next after issuance.

(Code 1973, § 5-3)

State law reference(s)—Registration and licensing, M.G.L.A. c. 140, § 137.

Sec. 8-34. License fee.

- (a) The fee for a dog license shall be as follows:
 - (1) Male/female \$15.00 annually
 - (2) Neutered male/spayed female (proof of neuter /spay required) \$10.00 annually
 - (b) The fee for kennel licenses shall be as follows:
 - (1) Four dogs or less \$35.00
 - (2) Ten dogs or less \$50.00
 - (3) More than ten dogs \$75.00
 - (4) Transfer license \$5.00
 - (c) Any person failing to pay the license fee by July 1 in the year in which it is due shall be subject to a separate \$15.00 late fee. And any dog not licensed for the previous year will need to pay for the previous years' license as well as the late fine of \$15.00.
- (Code 1973, § 5-4; Ord. of 2-8-1996, § 1; Ord. of 5-25-2006, § I(2); Ord. of 11-20-2008, § 1; Ord. of 1-9-2014, § 1)

Sec. 8-35. Restraint required.

- (a) No person owning, harboring or having custody and control of a dog shall permit such dog to be at large in the city at any time elsewhere than on the premises of the owner, except if such dog is on the premises of

another person with the knowledge and assent of such person. Further, any person owning, harboring or having custody and control of a dog in the city, when such dog is not on the premises of the owner or upon the premises of another person with the knowledge and assent of such person, shall control and restrain such dog by a leash of appropriate length.

- (b) The animal control officer or assistant animal control officer may take into custody any licensed dog found at large within the city in violation of subsection (a) of this section. The animal control officer or assistant animal control officer shall then impound the dog at any licensed kennel within the city and notify the owner of the location where the dog may be claimed. The owner shall pay the boarding fee which may have accrued before the kennel shall be obligated to release the dog. If the owner does not claim the dog within three days of receipt of notice, the animal control officer shall cause a second notice to be sent to the owner by registered mail. If the owner does not claim the dog within three days of receipt of the second notice, the animal control officer shall proceed against the owner for willful abandonment, pursuant to M.G.L.A. c. 272, § 84.
- (c) Any person who violates this section shall be subject to a fine of \$25.00 for a first offense and \$50.00 for any subsequent offenses relating to the same dog. Any dog that has been the subject of four or more violations of this section shall be deemed a nuisance within the provisions of M.G.L.A. c. 140, § 157, and shall be reported as such by the animal control officer to the chief of police for appropriate action under that law. Notwithstanding, any violation whereby a dog is at large on a public beach, park, mall or market area shall be subject to a fine of \$25.00 for a first offense and \$50.00 for each additional offense relating to the same dog.
- (d) Any person failing to pay the fines stated in subsection (c) of this section within the 21 days provided will be subject to a surcharge of \$25.00 in addition to the fine due.

(Code 1973, § 5-5; Ord. of 6-1-99, § I; Ord. of 5-25-2006, § I(3)–(5))

Sec. 8-36. Disposal of waste.

- (a) *Duty to dispose.* It shall be the duty of each person who owns, possesses or controls a dog to remove and dispose of any feces left by their dog on any sidewalk, street, park, public area or any private property of another. A copy of this section shall be given to every dog owner when licensing their dog.
- (b) *Duty to possess means of removal.* No person who owns, possesses or controls such dog shall appear with such dog on any sidewalk, street, park, public area or private property of another without the means of removal of any feces left by such dog.
- (c) *Method of removal and disposal.* For the purpose of this section, the means of removal shall be any tool, implement or other device carried for the purpose of picking up and containing such feces unexposed to such person or the public. Disposal shall be accomplished by transporting such feces to a place suitable and regularly reserved for the disposal of human feces or specifically reserved for the disposal of canine feces, and so disposing of such feces.
- (d) *Fines for violation.* Fines for violations of this section shall be \$50.00 for each offense.
- (e) *Exemption.* This section shall not apply to a guide dog accompanying any handicapped person.
- (f) Any person failing to pay the above fines within the 21 days provided will be subject to a \$25.00 surcharge in addition to the fine due.

(Code 1973, § 5-5.1; Ord. of 6-1-99, § III; Ord. of 5-25-2006, § I(6); Ord. of 5-13-2021, § I)

Sec. 8-37. Ownership and use of security and guard dogs.

- (a) Any dog used primarily for the purpose of securing and protecting real or personal property, which is open to public access at any time, shall comply with all the following:
- (1) Such dog shall be registered with the city clerk in accordance with M.G.L.A. c. 140, §§ 137, 137A.
 - (2) Such dog shall be kept within a closed-in area at all times when such property is open to public access or during business hours. Such closed-in area will consist of a fence at least six feet high with a fence covering and a locked gate and/or within a locked room if in a business establishment.
 - (3) All areas secured or protected by a security or guard dog shall be posted in such a thorough manner as to give adequate notice to the public (beware of guard dog, etc.).
- (b) No person or business shall harbor a security dog or guard dog unless they have obtained a security dog kennel permit as follows:
- (1) Such permit will be issued by the city clerk at no fee upon written certification by the animal control officer that such business or person has complied with all the guidelines of this section. The permit may be revoked by the police marshal upon evidence of violation of this section.
 - (2) The city clerk shall provide the fire chief and police marshal with a copy of the security dog kennel permit.
 - (3) The security dog kennel permit shall specify the location at which the dog is licensed to be located, and no transfer or relocation of the duly licensed guard/security dog shall be permitted without the approval of the animal control officer.
 - (4) Such permit shall be valid for an indefinite period of time.
 - (5) Any business or private resident harboring a security dog shall, upon the request of the dog officer or any police officer, allow the dog officer or any police officer to enter and inspect the kennel area where such dog is licensed to be harbored.
- (c) Failure to comply with this section will result in a fine of \$50.00 for each day of such violation.
- (Code 1973, § 5-6; Ord. of 6-1-99, § V; Ord. of 5-13-2021, § I)

Sec. 8-37. REGULATION OF NONDOMESTICATED ANIMALS

8.37.010 - Nondomesticated—Defined.

For the purposes of this chapter, the words "nondomesticated animal" include any animal which in its original or natural state could be considered wild, however tame it may presently be, or by its nature is an animal which is not ordinarily kept or considered as a household pet. The term shall exclude, for the purposes of this chapter, all dogs, house cats, canaries, parrots, parakeets and the like, tropical fish of the non carnivorous family, hamsters, white mice and white rats.

8.37.020 Nondomesticated—Keeping and transporting.

A. No person shall keep on his property, or the property of others, any nondomesticated animal without first having obtained a license issued by the Salem Board of Health, which board shall have the right of inspection, at all reasonable times, of the premises where such nondomesticated animals are kept and shall establish from time to time reasonable regulations relative to the care, maintenance and control

of such animals. Any person violating the provisions of this section shall be fined fifty dollars for the first offense and one hundred dollars for each offense thereafter.

- B. No person shall transport within the city any nondomesticated animal without first having obtained a license from the Salem Board of Health for such transport except for emergency care needs of an injured animal. The Board of Health shall establish from time to time reasonable regulations relative to the transportation of such nondomesticated animals.

8.37.030 Nondomesticated animals displayed for public entertainment or amusement.

- A. No living animals shall be displayed for public entertainment or amusement on property owned by the City of Salem, on city-owned property under lease, or on private property, except exhibits/events deemed educational by the Massachusetts Society for the Prevention of Cruelty to Animals.
- B. No captive animal shall be forced to live out of its natural environment, separated from its own species and displayed to the public in any exploitive manner.

Sec. 8-38. Vaccination against rabies; revaccination; penalty.

Whoever is the owner or keeper of a dog or cat six months of age or older shall cause such dog or cat to be vaccinated against rabies by a licensed veterinarian using a licensed vaccine according to the manufacturer's directions and shall cause such dog or cat to be revaccinated at intervals recommended by the manufacturer. Unvaccinated dogs and cats acquired or moved into the city shall be vaccinated within 90 days after the acquisition or arrival into the city or upon reaching the age of six months, whichever last occurs. It shall be the duty of each veterinarian, at the time of vaccinating any dog or cat, to complete a certificate of rabies vaccination which shall include, but not be limited to the following information: the owner's name and address; a description of the animal, including breed, sex, age, name and distinctive markings; the date of vaccination; the rabies vaccination tag number; the type of rabies vaccine used; the route of vaccination; the expiration date of the vaccine; and the vaccine lot number.

The veterinarian shall issue a tag with each certificate of vaccination. The tag shall be secured by the owner or keeper of such dog or cat to a collar or harness made of suitable material to be worn by the dog or cat; provided, however, that the owner of a cat may choose not to affix a tag to the cat, but shall have the tag available for inspection by authorized persons. In the event that a tag is lost, the owner or keeper of the animal shall, upon presentation of the original vaccination certificate, be issued a new tag.

In order for a dog or cat to be accepted at an animal hospital, veterinarian's office or boarding facility an owner or keeper of such animal shall show proof of current vaccination against rabies; provided however, that if a dog or cat has not been so vaccinated or such owner or keeper fails to show such proof the animal shall be vaccinated against rabies prior to being discharged if the animal's medical condition permits.

The provisions of this section shall not apply to dogs or cats housed in a research institution.

Whoever violates the provisions of this section shall be subject to a fine of \$50.00.

Any person failing to pay the above fine within the 21 days provided will be subject to a \$25.00 surcharge in addition to the fine due.

(Code 1973, § 5-7; Ord. of 10-9-1997, § 1; Ord. of 6-1-99, § IV; Ord. of 5-25-2006, § I(7))

Sec. 8-39. FEEDING OF WILD ANIMALS, WILDLIFE, AND BIRDS^[1]

8.39.010 Feeding of wild animals and/or wildlife is prohibited on city owned land.

- A. No person shall feed, bait, or in any manner provide access to food to any wild animal or birds within City of Salem on city owned land.
- B. No person shall leave or store any refuse, garbage, food product, pet food, forage product or supplement in a manner that would constitute an attractant to any wild animal or wildlife on city owned land.
- C. No person shall fail to take remedial action to avoid contact or conflict with wild animals, which may include the securing or removal of outdoor trash, cooking grills, or any other food source or product.

8.39.020 Feeding of wild animals and/or wildlife on private property.

- A. The feeding of songbirds and other backyard birds shall be permitted on private property subject to the following conditions:
 - 1. Birds shall only be fed from bird feeders. Bird feeders shall be installed at least five feet above the ground with catch basins.
- B. The feeding of wildlife is strongly discouraged due to the detrimental effect it has on their health and the disruption and conflict it causes to their natural feeding patterns.
- C. Feeding that creates an unreasonable disturbance that affects the safety of surrounding property owners by attracting excessive rodents and other wildlife and renders other persons insecure in the use of their property is not permitted.

8.39.030 - Enforcement.

Inspectional services and/or animal control shall enforce the provisions of this chapter.

8.39.040 - Penalties.

Any person violating any provision of this chapter shall be liable to a fine not less than twenty-five dollars or more than one hundred dollars for each offense.

Secs. 8-40—8-65. Reserved.

DIVISION 2. DANGEROUS DOGS

Sec. 8-66. Definitions.

The following words, terms and phrases, when used in this division, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Dangerous dog means any dog that:

- (1) When unprovoked:
 - a. Inflicts bites on a human or domestic animal either in public or on private property, so long as such human or domestic animal is legally upon such public or private property; or
 - b. Chases or approaches a person upon the streets, sidewalks, or any public grounds in a menacing fashion or apparent attitude of attack; or
- (2) Has a known propensity, tendency, or disposition to attack unprovoked, to cause injury, or to otherwise threaten the safety of humans or domestic animals.

(Ord. of 10-9-1997, § 1(5-8))

Cross reference(s)—Definitions generally, § 1-2.

Sec. 8-67. Declaration.

- (a) It shall be the duty of the animal control officer to declare a dog to be dangerous. A written complaint is not required in order for the animal control officer to make the declaration. City law enforcement officers, inspectors or medical technicians shall report to the animal control officer any potentially dangerous dogs and any witnessed inappropriate behavior or incidents. A determination of the animal control officer shall be final and binding, subject to an appeal provided herein. Any dog owner may appeal the animal control officer's determination by filing a written appeal to the chief of police or the chief of police's designee within three business days following the owner's receipt of the animal control officer's determination notice. An owner's appeal must contain a certification of a licensed veterinarian stating that the dog, in the veterinarian's opinion, is not a dangerous dog as defined in section 8-66. The chief of police or the chief of police's designee shall hold a hearing within ten days of the filing of an appeal and shall issue a decision within seven days following the hearing.
- (b) No dog shall be declared dangerous if the threat, injury, or damage was sustained by a person who, at the time, was committing a willful trespass or other tort upon the premises occupied by the owner of the dog; was tormenting, abusing, or assaulting the dog or has, in the past, been observed or reported to have tormented, abused, or assaulted the dog; or was committing or attempting to commit a crime. Children under seven years of age at the time injury was sustained will be presumed to have not committed any of the actions stated in this subsection.

(Ord. of 10-9-1997, § 1(5-8); Ord. of 5-25-2006, § II(1); Ord. of 5-13-2021, § I)

Sec. 8-68. Confinement.

All dangerous dogs must be securely confined indoors or in a securely enclosed and locked pen or structure, suitable to prevent the entry of young children and designed to prevent the dog from escaping. Such pen or structure shall have secure sides and a secure top and shall also provide protection from the elements for the dog.

(Ord. of 10-9-1997, § 1(5-8))

Sec. 8-69. Restraint on public ways.

No dangerous dog shall be permitted upon any public way unless restrained by an appropriate dog leash no longer than four feet in length.

(Ord. of 10-9-1997, § 1(5-8))

Sec. 8-70. Number limited.

- (a) There shall be no more than one dangerous dog per dwelling unit allowed in the city.
- (b) No person shall be permitted to own, harbor or otherwise control or have custody of more than one dangerous dog, excepting a licensed kennel.

(Ord. of 10-9-1997, § 1(5-8))

Sec. 8-71. Possession by minor.

It is prohibited for a minor to either own, harbor or to otherwise have control or custody of a dangerous dog.

(Ord. of 10-9-1997, § 1(5-8))

Sec. 8-72. Collar.

Every dangerous dog is required to wear a bright orange collar, at least two inches in width.

(Ord. of 10-9-1997, § 1(5-8))

Sec. 8-73. Signs.

- (a) Any person who either own or harbors a dangerous dog must conspicuously display a sign approved by the animal control officer with a warning symbol that informs children of the presence of such dangerous dogs and a sign easily readable by the public using the words "dangerous dog."
- (b) Signs are to be posted at each entrance to the house and on gates that are part of a fence enclosing the property as well as on the pen.

(Ord. of 10-9-1997, § 1(5-8))

Sec. 8-74. Muzzling.

~~Every dangerous dog must be muzzled when not securely confined indoors or in a pen. The muzzle shall be made in a manner that will not cause injury to the dog or interfere with its vision or respiration, but shall prevent it from biting any person or animal.~~

Sec. 8-74. Confinement or muzzling.

The chief of police or his designee may order a dog confined to the premises where it resides or to other premises or to be muzzled when off said premises if he finds, after a hearing that the dog has:

-
- A. Bitten, physically injured or assaulted any person, without legally recognized justification or provocation.
 - B. Bitten or physically injured any domestic animal, without legally recognized justification or provocation.
 - C. Chased any motorist, bicyclist or pedestrian on any public way, street, or sidewalk or in any public place on at least two occasions.

Said order may be in addition to or in lieu of any fine authorized by Section 8-77 "2"

Nothing in this section shall preclude the chief of police from utilizing the procedure contained in M.G.L. c. 140, § 57, as amended by Chapter 193 of the Legislative Acts of 2012, to determine that a dog is a nuisance dog or a dangerous dog and from employing one or another of the remedies specified in that statute.

(Ord. of 10-9-1997, § 1(5-8))

Sec. 8-75. Breeding, selling or trading.

No person shall be permitted to breed dangerous dogs or sell or trade them within the city unless the sale or trade is for the purpose of removing them from the city limits.

(Ord. of 10-9-1997, § 1(5-8))

Sec. 8-76. Inflicting injury or damage.

Any injury or damage inflicted by a dangerous dog on a human or domestic animal shall result in immediate confiscation, and a hearing shall be conducted as soon as possible in accordance with M.G.L.A. c. 140, § 157. The dog may be destroyed pursuant to M.G.L.A. c. 140, § 158, if the dog is again found outside the enclosure of its owner or keeper and not under the owner of keeper's immediate care unless the owner can remove the dog from the city within ten days.

(Ord. of 10-9-1997, § 1(5-8); Ord. of 5-13-2021, § I)

~~Sec. 8-77. Penalty for violation.~~

~~Whoever violates any provision of this section shall be subject to a fine of \$25.00 for a first offense and \$50.00 for any subsequent offense relating to the same dog. Any dog which has been the subject of four violations of this section shall be deemed a nuisance within the provisions of M.G.L.A. c. 140, § 157, and shall be reported as such by the animal control officer to the chief of police for appropriate action under that law. Notwithstanding, any violations whereby a dog is at large on a public beach, park, mall, market area, school yard or public housing shall be subject to a fine of \$50.00. Any dangerous dog, found in said person's custody or any other person's custody, shall be immediately confiscated.~~

~~(Ord. of 10-9-1997, § 1(5-8); Ord. of 6-1-99, § I; Ord. of 5-25-2006, § II(2))~~

Sec. 8-77. Penalties and enforcement.

The owner, keeper and/or person otherwise in control of a dog shall be subject to a fine for each violation of this title as follows:

- A. For a violation of Section 8-78.

-
1. First offense: fifty dollars.
 2. Second offense: one hundred dollars.
 3. Third and subsequent offense: one hundred fifty dollars.
- B. For all other violations of Section 8-78
1. First offense: fifty dollars.
 2. Second offense: one hundred dollars.
 3. Third and subsequent offense: one hundred fifty dollars.
- C. For a violation of Section 8- 36.
1. Each offense in any calendar year: fifty dollars.

Sec.8-78. - Prohibited behavior.

The owner, keeper, or person otherwise in control of a dog shall not cause or permit a dog:

- A. To be unrestrained as required by Section 8-35;
- B. To be without current license and rabies vaccination tags when off the owner's property.
- C. To bite, physically injure, assault or threaten any person, without legally-recognized justification or provocation.
- D. To bite or physically injure any domestic animal, without legally recognized justification or provocation.
- E. To chase any motorist, bicyclist, or pedestrian on any public way, street, or sidewalk or in any public place.
- F. To be off the property where the dog resides, if subject to a confinement order.
- G. To be off the property where the dog resides, unmuzzled, if subject to a muzzle order.
- H. To disturb the peace and quiet enjoyment of any residential neighborhood by continuous or repeated barking, yelping, howling, or whining, without legal justification.

Sec 8 -79. Non-waiver of statutory remedies.

The provisions of this title are intended to be in addition to and not in lieu of those contained in M.G.L. c.140, §§ 136A, et seq., as amended by Chapter 193 of Legislative Acts of 2012; nothing contained in this title shall deprive the city from employing the remedies provided in those sections, including but not limited to disposition of a dog found to be a dangerous dog or nuisance dog, as provided in § 157 of c. 140, as amended.

To the maximum extent possible, the provisions of this title shall be deemed to be consistent with and/or supplemental to those contained in M.G.L. c. 140, as provided in §§ 173 and 173A, as amended.

Ilene Simons

From: Andrew Varela
Sent: Thursday, May 19, 2022 3:57 PM
To: Ilene Simons; Maureen Fisher
Cc: Alice R. Merkl; Beth Rennard
Subject: Amendment to Ch 8 Animals- Co-file Councillor Merkl and Councillor Varela
Attachments: Chapter 8 Animals Amendement May 19th.docx

Ilene and Maureen,

Councillor Merkl And I have drafted an amendment to Ch 8 Animals in our code of ordinances.

We would like to Co-File the Proposed Amendments.

Just a note to Beth, we did not change to fees in Sec 8-31. Licenses. But we did make changes to the dollar amount in sec 8-77. Penalties and enforcement.

All of our proposed changes in the language marked in the gold text

Thank you for all you do!

Andy Varela
Councillor- Ward 7
978-548-8455



CITY OF SALEM

In City Council May 26, 2022

ORDERED: That the Salem Legal Department be requested to review the language within the Salem Zoning Ordinance Ch. 6.10 Marijuana Establishments and the Salem Code of Ordinances Ch. 24, Sec. 30 – Retail Marijuana establishments; limits and recommend amendments to these Ordinances to replace the word “marijuana” with the word “cannabis.”

City of Salem

In the year ~~two thousand and twenty two~~

An Ordinance *to amend an Ordinance relative to Traffic*

Be it ordained by the City Council of the City of Salem, as follows:

Section 1. Chapter 42 Section 50B – Handicap Zones, Limited Time shall be amended by adding:

Riverview Street – One Handicap Parking space to be added on Riverview Street. The space will begin approximately 63 feet from Loring Avenue, running for twenty (20) feet

Section II. This Ordinance shall take effect as provided by City Charter.



CITY OF SALEM

In City Council May 26, 2022

ORDERED: That the permanent Polling Location for Ward 2, Precinct 1 and 2 shall be the Community Life Center located at 401 Bridge Street.

CITY OF SALEM



In City Council May 26, 2022

Resolution:

WHEREAS, In the month of June, for over 50 years, Lesbian, Gay, Bisexual, Transgender, Queer, Questioning, Intersex, Asexual, A-romantic, and A-gender people across the country have commemorated and memorialized the anniversary of the “Christopher Street Uprisings” – of which the Stonewall Uprising is the most known – a pivotal moment in LGBTQIA+ history; and

WHEREAS, June was first historically and civically designated as Gay Pride Month by President Clinton in June 2000; and

WHEREAS, “Pride Month” is an opportunity to memorialize members of the LGBTQIA+ community who have been lost to us, and who are still dying every day, from the AIDS epidemic and the fallout ripple effects of those terrible days, from hate and violence, from suicide, and the perils of living on the streets when young people are neglected and excommunicated from their families and communities; and

WHEREAS, while society at large increasingly supports LGBTQIA+ equality, it is essential to acknowledge that the need for education and awareness remains vital to end discrimination and prejudice and “Pride month” is a life affirming opportunity to celebrate our diversity and bring awareness and strong allyship to the ongoing struggles of the LGBTQIA+ community – especially at this time of the “Don’t Say Gay” bill and increasing legal and bodily threats to the dignity, humanity, and safety of transgender and non-binary people in America and;

WHEREAS, Salem has long been a community of diversity, acceptance, and inclusion and acknowledges that Salem’s LGBTQIA+ residents make great contributions to all aspects of life in Salem as business owners, artists, public and private leaders, educators, doctors, lawyers, civil servants, volunteers, and more; and

WHEREAS, Salem wishes to honor the important history of the LGBTQIA+ liberation movement which includes the historic and ongoing fight for equitable treatment in healthcare, fair and equal legal rights, justice, and accurate education of the history and lives of the LGBTQIA+ community; and

WHEREAS, Salem wishes to acknowledge, support, and actively work to advance the rights of the broadly intersectional diversity of our community, here in our City of Peace, to ensure all citizens experience equality and freedom from discrimination; and

WHEREAS, the City of Salem will once again raise the Inclusivity flag on June 1st in downtown Salem, will paint designated crosswalks in Salem with the colors of the rainbow, and will act as host for the North Shore Pride Parade as means of showing support of the LGBTQIA+ community and to celebrate our diversity and shared humanity;

NOW, THEREFORE BE IT RESOLVED, by the City Council of Salem, in partnership with Her Honor Mayor Kimberley Driscoll, hereby proclaim the month of June 2022 as Pride Month in Salem, Massachusetts, and encourages all people to share in the Pride of our LGBTQIA+ neighbors.



CITY OF SALEM PLANNING BOARD

May 20, 2022

Ms. Ilene Simons, City Clerk
City of Salem
City Clerk's Office
Salem, MA 01970

Dear Ms. Simons:

At its regular meeting on Thursday, May 19, 2022, the Planning Board voted five (5) in favor (Bill Griset, Kirt Rieder, Carole Hamilton, Tom Furey, and Zachary Caunter) and zero (0) opposed to designate Planning Board Member Kirt Rieder to serve on the Tree Commission, for a 3-year reappointment with a term to expire May 23, 2025, pending confirmation by a majority vote of the City Council. Please place this on the next available City Council meeting agenda for confirmation.

If there are any questions regarding this matter, please feel free to contact me at 978-619-5685, extension 42513.

Sincerely,

A handwritten signature in blue ink, appearing to read "Elena Eimert", is written over a faint, larger blue ink signature.

Elena Eimert
Planner, City of Salem

Cc: Bill Griset, Chair



CITY OF SALEM

In City Council,

Ordered:

May 26, 2022

That Nine Hundred Sixty-Six Thousand, Five Hundred Dollars (\$966,500.00) is hereby appropriated to the CPA Funds for FY 2023 to the accounts listed below in accordance with the recommendation of Her Honor the Mayor.

Fund	Description	Org/Obj	Amount
2001	CPA - General Admin - Expenses	2001323-5713	48,325.00
2001	CPA - General Admin - Stipends	2001323-5150	5,000.00
2001	CPA - General Admin - Reserves	2001323-5000	593,225.00
2002	CPA - Open Space - Reserves	2002323-5000	106,650.00
2003	CPA - Historical Preservation - Reserves	2003323-5000	106,650.00
2004	CPA - Community Housing - Reserves	2004323-5000	106,650.00
			966,500.00



CITY OF SALEM

In City Council,

May 26, 2022

Ordered:

That One Million One Hundred Seventy-Three Thousand Seventy-Eight Dollars and Sixty-Six Cents (\$1,173,078.66) is hereby appropriated within the CPA Funds for the FY 2023 projects listed below in accordance with the recommendation of the Community Preservation Committee (CPC).

FY2023 CPA Funding Requests

FY	Fund	Fund Name	Description	Funding	Amount	Total
2023	2001	CPA General Funds	Haw thorne Lofts	FY23 Fund Balance	93,350.00	
2023	2004	Community Housing	Leefort Terrace	FY23 Housing Reserve	106,650.00	200,000.00
2023	2001	CPA General Funds	Residences at St. James	FY23 Fund Balance	186,553.66	
2023	2001	CPA General Funds	Residences at St. James	FY23 Budgeted Reserve	83,446.34	250,000.00
2023	2001	CPA General Funds	Palmer Cove Park	FY23 Budgeted Reserve	115,000.00	115,000.00
2023	2003	Historical Resources	Salem Deed Conservation	FY 23 Historic Reserve	15,430.00	15,430.00
2023	2001	CPA General Funds	Replacement of Floating Docks	FY23 Budgeted Reserve	96,500.00	96,500.00
2023	2003	Historical Resources	Pickering House Front Façade Replacement	FY 23 Historic Reserve	80,000.00	80,000.00
2023	2003	Historical Resources	Dickson Memorial Chapel Stained Glass Window Restoration	FY 23 Historic Reserve	11,220.00	
2023	2001	CPA General Funds	Dickson Memorial Chapel Stained Glass Window Restoration	FY23 Budgeted Reserve	48,780.00	60,000.00
2023	2001	CPA General Funds	St. Peter's Church Coping Stone Reinstallation and Cellar Window Preservation	FY23 Budgeted Reserve	40,000.00	40,000.00
2023	2001	CPA General Funds	Volunteer Bridge, Forest River Conservation Area (rehabilitation & improvements)	FY23 Budgeted Reserve	66,148.66	66,148.66
2023	2002	Open Space/Rec	Salem Willow s Pier	FY2023 O/S Reserve	106,650.00	
2023	2001	CPA General Funds	Salem Willow s Pier	FY23 Budgeted Reserve	143,350.00	250,000.00
					1,173,078.66	1,173,078.66

Total Housing-- >	106,650.00
Total Historic-- >	106,650.00
Total Open Space/Rec-- >	106,650.00
Total FY23 Budget Reserve-- >	593,225.00
Total FY23 Fund Balance-- >	259,903.66
Grand Total-- >	1,173,078.66



CITY OF SALEM, MASSACHUSETTS
Kimberley L. Driscoll, Mayor
Community Preservation Committee

98 WASHINGTON STREET ♦ SALEM, MASSACHUSETTS 01970
TEL: 978-619-5685

TO: Honorable City Council

FROM: Jane A. Guy, Assistant Community Development Director
on behalf of the Community Preservation Committee

DATE: May 12, 2022

RE: **CPC Recommendation for CPA Funding**

The Community Preservation Committee (CPC) is pleased to submit its recommendations for the City of Salem's ninth round of Community Preservation Act (CPA) funding.

While the CPC is responsible for studying community preservation needs and reviewing applications submitted for CPA funding, it is ultimately the City Council that must approve projects receiving CPA expenditures. In compliance with MGL c.44B, the City Council is requested to take one of the following actions on each funding recommendation:

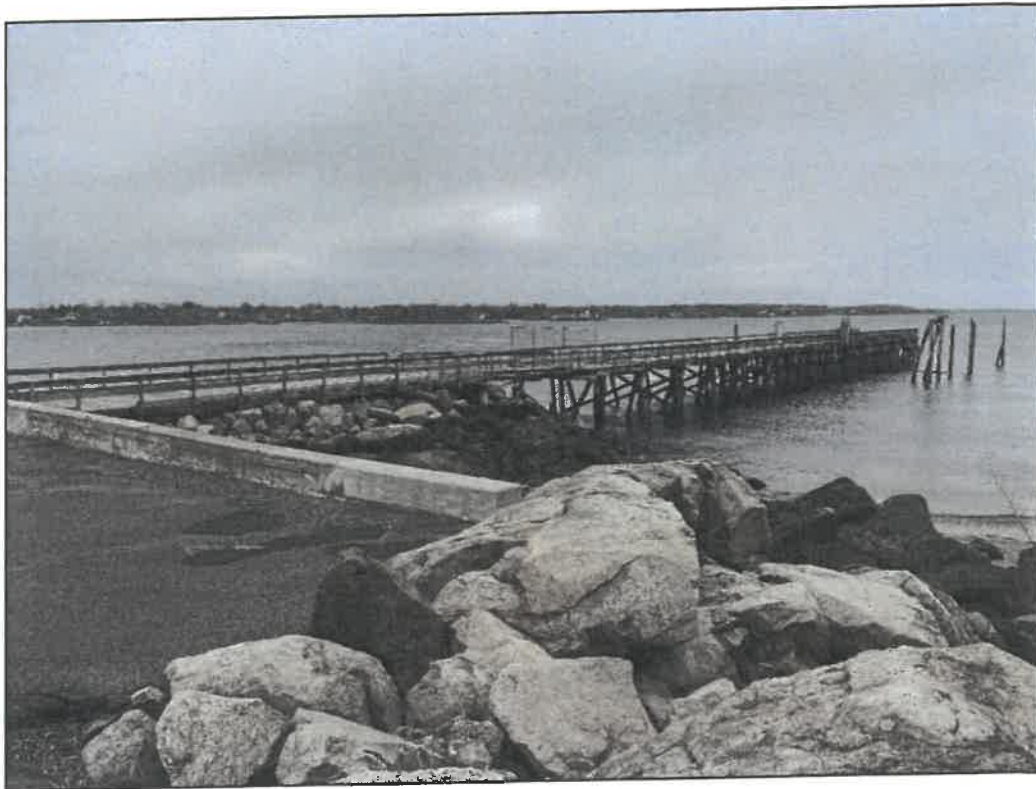
- Approve recommendation of the CPC
- Reject recommendation of the CPC
- Reduce amount recommended by the CPC
- Reserve amount recommended by the CPC to applicable reserve account, rather than approving the project

With your approval, funding for these projects will be available on July 1, 2022. Please feel free to contact me with any questions concerning this submission.

Thank you for your consideration.



City of Salem Community Preservation Committee



Round 9

Report on Funding Recommendations for the Salem City Council

May 12, 2022

Community Preservation Act
FY22 Funding Round
(FY23 Funds)

Chart 1
COMMUNITY PRESERVATION FUND ALLOWABLE SPENDING PURPOSES (G.L. c. 44B, § 5)

DEFINITIONS (G.L. c. 44B, § 2)	OPEN SPACE	HISTORIC RESOURCES	RECREATIONAL LAND	COMMUNITY HOUSING
	Land to protect existing and future wet fields, aquifers and recharge areas, watershed land, agricultural land, grasslands, fields, forest land, fresh and salt water marshes and other wetlands, ocean, river, stream, lake and pond frontage, beaches, dunes and other coastal lands, lands to protect scenic vistas, land for wildlife or nature preserve and land for recreational use	Building, structure, vessel, real property, document or artifact listed on the state register of historic places or determined by the local historic preservation commission to be significant in the history, archeology, architecture or culture of the city or town	Land for active or passive recreational use including, but not limited to, the use of land for community gardens, trails, and noncommercial youth and adult sports, and the use of land as a park, playground or athletic field. Does <u>not</u> include horse or dog racing or the use of land for a stadium, gymnasium or similar structure.	Housing for low and moderate income individuals and families, including low or moderate income seniors Moderate income is less than 100%, and low income is less than 80%, of US HUD Area Wide Median Income
ACQUISITION Obtain property interest by gift, purchase, devise, grant, rental, purchase, lease or otherwise. Only includes eminent domain taking as provided by G.L. c. 44B	Yes	Yes	Yes	Yes
CREATION To bring into being or cause to exist. <i>Seideman v. City of Newton</i> , 452 Mass. 472 (2008)	Yes		Yes	Yes
PRESERVATION Protect personal or real property from injury, harm or destruction	Yes	Yes	Yes	Yes
SUPPORT Provide grants, loans, rental assistance, security deposits, interest-rate write downs or other forms of assistance directly to individuals and families who are eligible for community housing, or to entity that owns, operates or manages such housing, for the purpose of making housing affordable				Yes, includes funding for community's affordable housing trust
REHABILITATION AND RESTORATION Make capital improvements, or extraordinary repairs to make assets functional for intended use, including improvements to comply with federal, state or local building or access codes or federal standards for rehabilitation of historic properties	Yes if acquired or created with CP funds	Yes	Yes	Yes if acquired or created with CP funds

Source: Department of Revenue (DOR) 10-5-2012 conference, "Recent Developments in Municipal Law," Workshop B - Local Finances

Overview

The Community Preservation Committee (CPC) submits the following project award recommendations for Community Preservation Act (CPA) funds:

○ Housing Resources	
○ Leefort Terrace	\$200,000.00
○ Residences at St. James	\$250,000.00
○ Historic Resources	
○ Salem Deed Conservation	\$15,430.00
○ Pickering House Front Façade Replacement	\$80,000.00
○ Dickson Memorial Chapel Stained Glass Window Restoration	\$60,000.00
○ St. Peter's Church Coping Stones & Cellar Windows	\$40,000.00
○ Open Space/Recreational Land	
○ Salem Willows Pier	\$250,000.00
○ Palmer Cove Park	\$115,000.00
○ Floating Docks at Winter Island	\$96,500.00
○ Forest River Conservation Area, Volunteer Bridge Rehabilitation	\$66,148.66

Included in this report is a spreadsheet breaking down the recommended source of CPA funds for each project, as well as a detailed overview of the ten projects recommended.

The total funds available for projects is \$1,173,078.66. This includes the FY23 estimated funds (surcharge revenues and State match), as well as \$259,903.66 in carried over, undesignated FY22 funds.

The CPC is recommending funding for projects totaling all \$1,173,078.66. If awarded, the minimum of 10% minimum spending in the categories of Housing Resources, Historic Resources and Open Space/Recreation will be satisfied.

This will leave a balance available of \$0. However, please note that the available funding will increase in November, 2022 when late payments, unspent FY22 admin, FY22 surcharge revenues received over the \$715,000 estimate, the increase in the State match from FY22 (\$98,131), interest and any other extra funds that are reported to the Department of Revenue are placed into the Fund Balance.

Approval of all projects is conditional that signage be installed as provided in the Community Preservation Committee's sign policy.

Cover photo from Salem Willows Pier.

RECOMMENDED CPA PROJECTS & FUNDING BY CPA RESERVE ACCOUNT

Applicant	Title	AWARD RECOMM.	Fund Balance	FY23 Housing	FY23 Historic	FY23 OS/Rec	FY23 Budgeted Reserve
Community Housing							
Beacon Communities & Salem Housing Authority	Leefort Terrace	\$200,000.00	\$93,350.00	\$106,650.00			
North Shore Community Development Coalition	Residences at St. James	\$250,000.00	\$166,553.66				\$83,446.34
Historic Resources							
City of Salem (City Clerk/DPCD)	Salem Deed Conservation	\$15,430.00			\$15,430.00		
Pickering Foundation	Pickering House Front Façade Replacement	\$80,000.00			\$80,000.00		
City of Salem (DPCD/Cemetery)	Dickson Memorial Chapel Stained Glass Window Restoration	\$60,000.00			\$11,220.00		\$48,780.00
St. Peter's Church, Parish of	Coping Stone Reinstallation and Cellar Window Preservation	\$40,000.00					\$40,000.00
Open Space & Recreation							
City of Salem (DPCD)	Salem Willows Pier	\$250,000.00				\$106,650.00	\$143,350.00
City of Salem (DPCD)	Palmer Cove Park	\$115,000.00					\$115,000.00
Sail Salem & City of Salem Park & Recreation	Replacement of Floating Docks	\$96,500.00					\$96,500.00
Salem Sound Coastwatch & Salem Conservation Commission	Volunteer Bridge, Forest River Conservation Area (rehabilitation & improvements)	\$66,148.66					\$66,148.66
		\$1,173,078.66	\$259,903.66	\$106,650.00	\$106,650.00	\$106,650.00	\$593,225.00

APPLICANT:

BC Leefort Terrace LLC c/o Beacon Communities
& the Salem Housing Authority

PROJECT TITLE:

Leefort Terrace

PROJECT LOCATION:

1 and 2 Leefort Terrace

CPA CATEGORY:

Housing Resources: Creation

CPC PRIORITY RANKING:

High

CPC RECOMMENDED CPA FUNDING:

\$200,000.00

CPC RECOMMENDED SOURCE:

\$93,350 – Fund Balance

\$106,650 – FY23 Housing Reserve

PROJECT DESCRIPTION:

Beacon Communities and the Salem Housing Authority requested \$200,000 in CPA funds to replace fifty obsolete Leefort Terrace state public housing units with one hundred and twenty-four units of affordable housing in a regenerative and climate resilient development.

Lee Fort Terrace is a garden style development that was built in 1958 and consists of seven buildings and one additional building for a community room. The development includes 50 garden style one-bedroom units for elderly and disabled residents. The community room building



houses commercial coin operated washer/dryer facilities and a management office. The Leefort Terrace units are subsidized by the MA Department of Housing and Community Development (DHCD) through the state public housing operating subsidy and capital formula funding, which has been insufficient to cover necessary upgrades. All residential units are currently on the ground floor in a coastal flood plain and at significant and increasing risk of storm related flooding and sea level rise. There are currently no handicap accessible units in the development, and given the approximate size of only 371 SF each, they cannot be adapted. Residents report continual problems with flooding, outdated kitchen and bath facilities, climate control, and pest issues resulting from the obsolete design and construction methods. For a development built to standards more than six decades out of date and located in a floodplain that does not allow for residential housing units at this grade, renovation is not an option.

The proposed development plan is:

Vision- A rescue mission to replace the 50 obsolete Leefort Terrace state public housing units with a newly imagined 124 unit affordable, regenerative and climate resilient development that works in harmony with natural and social systems. The opportunity to take Housing Authority property and leverage it to provide even more much needed affordable housing in perpetuity.

Unit Count & Parking- 124 units with 1- (66), 2 (34)- and 3 (24)-bedrooms. 100 parking spots.

Affordability- 100% affordable rental housing reserved for households with extremely low-, low-, and moderate-incomes. A total of 74 additional affordable housing units will be created, above the 50 state public housing replacement units.

Site Control- The Salem Housing Authority (SHA) chose affordable housing developer, owner and manager Beacon Communities Development LLC (Beacon) as its development partner for the redevelopment of Leefort Terrace. SHA has procured Beacon as a development partner for the site

through a fully-compliant Chapter 30B process. There is a signed MOU between SHA and Beacon. SHA will remain the land owner. The development will be facilitated through a 99-year ground lease to a BC Leefort Terrace, a Beacon affiliated entity that will construct and own the improvements. All improvements revert to SHA ownership after the ground lease term.

Rental Assistance- Sixty-five (65) units at the development will be targeted for occupancy by households who benefit from Section 8 assistance, including the 50 1BR units that are currently state Public Housing plus an additional 15 family units (1- 2- and 3- bedrooms).

Population Served- The new Leefort Terrace development will at its base be a family development with open-occupancy and no age restriction placed on units. That said, in response to community and resident feedback, we anticipate that 65 units at the new Leefort Terrace will have either a preference or eligibility requirement for Elderly Families where at least one household member must be 62 years of age or older.

Temporary Relocation- Residents will be temporarily relocated off site during construction and will have a right to return to Leefort after it has been rebuilt. SHA plans to accommodate relocation needs of current residents in units held vacant in the SHA portfolio. Current residents who cannot be accommodated by the SHA will be accommodated in other rental apartments in the community. Beacon will provide relocation assistance to all current Leefort residents, including but not limited to finding temporary replacement apartments acceptable to each resident, and covering costs (including moving costs) that exceed residents' current housing costs. Beacon will engage a vendor, Housing Opportunities Unlimited (HOU), to oversee all aspects of the relocation process. All costs related to the relocation will be covered as a development expense. Residents will be able to return to a new unit while continuing to pay only 30% of their income for housing expenses.

Building Typology- The project includes the new construction of 124 units in two wings that embraces a sheltered, south-facing courtyard for the residents. The building site and residences are elevated to ensure resilience, while accommodating the majority of the parking in the basement below the building, where it will be screened. The basement parking level will be set at 10.5 feet above sea level (above the current flood map), and the lobby and first residential floor entrance at 13 feet and 21 feet above sea level (the 2070 sea level rise prediction). A four-story façade to the north along Collins Cove faces a substantial new community open space that will celebrate and strategically accommodate the tidal nature of the site. To the south, both wings drop down to three stories, breaking down the mass and giving them a height more consistent with the three abutting residences.

Accessibility and Universal Design- Making the development welcoming and easy for all people to access and enjoy is another key goal of the development. In addition to the required percentages of fully accessible apartments and apartments adapted for people with hearing and visual impairments, the apartments will exceed MAAB, ADA and Fair Housing requirements. All public spaces will be 100% accessible, all units will be visitable and the entire building and site will be designed to meet Universal Design guidelines. They will be designed to meet the needs of the anticipated SHA residents for aging in place as well.

Sustainability and Climate Resiliency- Being climate resilient, regenerative, and environmentally positive is an important goal of the Leefort Terrace redevelopment. The building and site will be designed with as many carbon sequestering materials as feasible, with the aim to minimize embodied carbon. The building will be all electric and designed and built to achieve Passive House (PHIUS+) certification and will strive to achieve as close as possible to net zero energy use with on-site solar energy generation. Material selection will also focus on healthier materials and indoor air quality.

Resident Services- Beacon's Community Engagement Department will provide a program of service enhancements at Leefort Terrace. The new building will include a large community room with a kitchen and area for computer learning, a fitness center and a wellness office with an exam room. A full time

Resident Services Coordinator will oversee a plethora of activities and services to support residents to thrive in all areas of their lives. The services plan will be tailored to the individual and community needs of the Leefort resident population.

Budget Summary

INDICATE THE TOTAL PROJECT COSTS, INCLUDING CPA FUNDING REQUEST, FROM ALL PROPOSED SOURCES.

APPLICATION PACKAGE MUST INCLUDE A COMPLETE ITEMIZED BUDGET OF ALL PROJECT COSTS.

Note: CPA funds cannot be used for maintenance.

	STUDY	SOFT COSTS*	ACQUISITION	CONSTRUCTION**	TOTAL
SOURCE 1: SALEM CPA (TOTAL MUST MATCH AMOUNT REQUESTED ON COVER SHEET)	\$	\$200,000	\$	\$0	\$200,000
SOURCE 2: DEBT	\$	\$9,743,858	\$	\$11,898,701	\$21,642,559
SOURCE 3: 4% LOW INCOME HOUSING TAX CREDIT EQUITY	\$	\$8,000,000	\$	\$14,341,994	\$22,341,994
SOURCE 4: STATE LOW INCOME HOUSING TAX CREDIT EQUITY	\$	\$700,000	\$	\$7,500,000	\$8,200,000
SOURCE 5: DHCD SOFT DEBT	\$	\$1,000,000	\$	\$14,000,000	\$15,000,000
SOURCE 6: MASSSAVE PASSIVEHOUSE REBATE	\$	\$0	\$	\$434,000	\$434,000
SOURCE 7: DEFERRED DEVELOPER FEE	\$	\$1,663,303	\$	\$0	\$1,663,303
TOTAL PROJECT COST	\$	\$21,307,161	\$	\$48,174,695	\$69,481,856

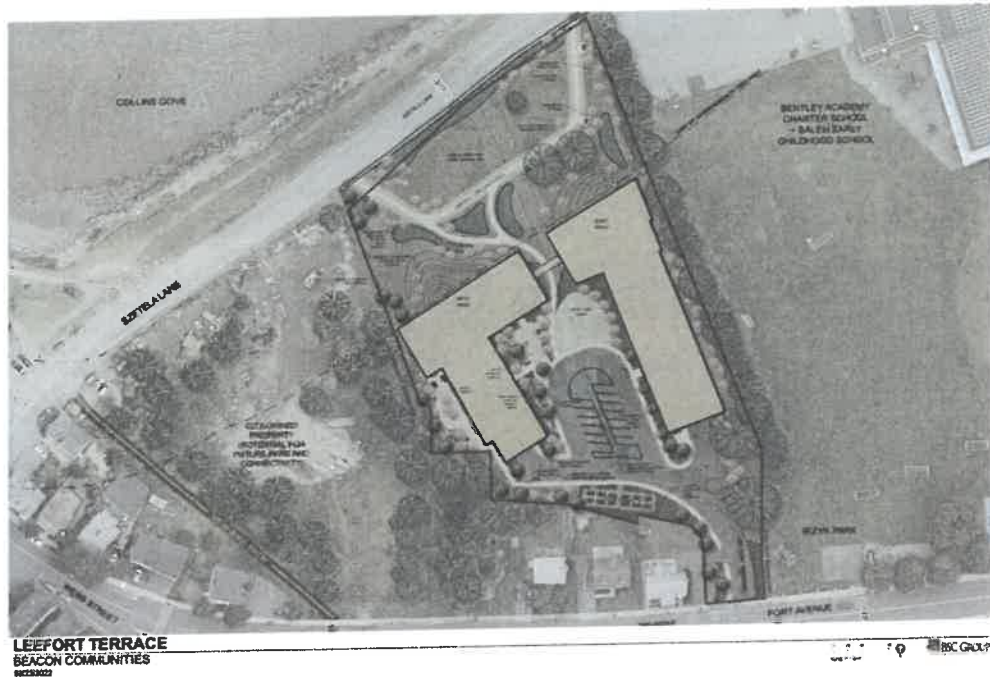
Project Timeline

The timeline for completed and upcoming milestones in the redevelopment of Leefort Terrace:

- Design process
 - Site Investigation and Feasibility Analysis- Fall '20- Spring '21
 - Conceptual Site Plan, Massing & Elevations- Fall '21- March '22
 - Preparation of Construction Documents- April '22-September '22
- Community Process
 - Fall '20- ongoing- Met directly with close to 50 residents, abutters, community members and City officials in individual and small group meetings.
 - Launched website www.leefortterrace.com
 - Virtual Community Meetings- March '21, December '21, February '22
- City Permitting and Entitlement Process
 - 40B Comp Permit April 2022- August 2022
 - ConCom May 2022- August 2022
 - MEPA- April 2022- November 2022
 - Chapter 91- August 2022- February 2022
- Funding Timeline
 - DHCD State Public Housing PEHO Feasibility Grant- awarded summer 2020 for initial site investigation work
 - DHCD Public Housing Innovation Application - Awards expected June 2022
 - DHCD Private Rental Housing Award Competition- Awards expected Fall 2022 or Winter 2023
- Construction Schedule
 - Construction Start- April '23.
 - Construction Completion & Rent-up- Summer '24

CPC RECOMMENDATION:

The Community Preservation Committee voted unanimously, to recommend funding this application at \$200,000. The CPC voted to recommend \$93,350 from the Fund Balance and \$106,650 from the FY23 Housing Reserve. Funding is conditional upon the requirement that an Affordable Housing Restriction that has been approved by the MA Department of Housing and Community Development be executed and filed at the Registry of Deeds. Such restriction shall include that 100% of the 124 housing units must be affordable to households who earn 60 percent or less of the area median income. Such restriction shall be for a period of 99 years.



APPLICANT:	North Shore Community Development Coalition
PROJECT TITLE:	Residences at St. James
PROJECT LOCATION:	160 Federal Street
CPA CATEGORY:	Housing Resources: Creation
CPC PRIORITY RANKING:	High
CPC RECOMMENDED CPA FUNDING:	\$250,000.00
CPC RECOMMENDED SOURCE:	\$166,553.66 – Fund Balance
	\$83,446.34 – FY23 Budgeted Reserve

PROJECT DESCRIPTION:

The North Shore Community Development Coalition (NSCDC) requested \$250,000 in CPA funds for adaptive reuse of the St. James School into 33 units of mixed-income rental housing for those age 62 and older.

The St. James School at 160 Federal Street, in the McIntire Historic District, was constructed in 1906 and served as a school for the St. James Parish until closing in 1972. It has been vacant for decades.



The North Shore CDC intends to convert the building into 33 rental housing units restricted to seniors 62 years old or older. Twenty-seven of these units will be affordable. The 36,000 SF school's high ceilings, large rooms with tall windows, excellent natural light and ample on-site parking lend itself well to rehabilitation into high quality housing units. The project's design was informed by DHCD's Senior Design Guidelines, so the building will include wayfinding with large text, automated entry doors, accessible common areas and other accessible features in order to serve seniors with a wide range of mobility.

The need for affordable housing for seniors, in particular, in Salem is expected to grow as the population increases significantly in the next few years. According to Salem for All Ages – Five Year Report 2021, one out of every five Salem residents are over the age of 60 today and that figure is projected to climb to one in four by 2030, increasing from around 8,000 individuals today to as many as 12,000 people in just a few years' time.

The building is just a few steps away from the Mayor Jean A. Levesque Community Life Center (Senior Center) where residents can access services such as meals, registration for transportation, exercise classes, benefits coaching and other programs. The St. James' location also provides a remarkable opportunity for NSCDC to partner with the City of Salem's Department of Parks, Recreation and Community Services, which operates out of the Senior Center.

Unit and Affordability Matrix

<i>Bedroom Type</i>	<i>30% AMI</i>	<i>60% AMI</i>	<i>Market</i>	<i>Total</i>
Studio	5	6	0	11
1-Bedroom	3	13	4	20
2-Bedroom	0	0	2	2
Total	8	19	6	33
% of Total	24%	58%	18%	

Budget Summary

Indicate the total project costs, including CPA funding request, from all proposed sources.
Application package must include a complete itemized budget of all project costs.
Note: CPA funds cannot be used for maintenance.

	STUDY	SOFT COSTS*	ACQUISITION	CONSTRUCTION**	TOTAL
SOURCE 1: SALEM CPA <i>(total must match amount requested on cover sheet)</i>	\$	\$	\$	\$ 250,000	\$250,000
SOURCE 2: FEDERAL AND STATE LIHTC	\$	\$	\$	\$	\$8,090,299
SOURCE 3: STATE SUBSIDY/ GRANTS	\$	\$	\$	\$	\$ 2,354,236
SOURCE 4: FEDERAL AND STATE HISTORIC TAX CREDITS	\$	\$	\$	\$	\$ 3,323,382
SOURCE 5: SENIOR DEBT	\$	\$	\$	\$	\$2,354,236
SOURCE 6: CITY HOME FUNDS	\$	\$	\$	\$	\$25,000
SOURCE 7: SPONSOR LOAN - BROWNFIELD'S GRANT					\$57,500
TOTAL PROJECT COST	\$	\$1,844,882	\$189,250	\$10,734,879	\$ 14,237,026

Timeline

- Fall 2019 – Winter 2020 – 2 Community Meetings plus numerous individual meetings to present the project (DONE)
- Fall 2019 – Preliminary Design (DONE)
- Spring/Summer 2020 – Permitting (DONE)
- Fall 2020 / Winter 2021 – Design + more community engagement (DONE)
- Fall 2021 – Pre-Application to DHCD (DONE)
- Winter 2022 – Full Funding Award Application to DHCD (DONE)
- Fall 2022 - Funding Awards
- Spring/Summer 2023 – Construction Start Date
- Summer 2022 - Lease Up
- Fall/Winter 2022 – Permanent Closing

CPC RECOMMENDATION:

The Community Preservation Committee voted unanimously, to recommend funding this application at \$250,000. The CPC voted to recommend \$166,553.66 from the Fund Balance and \$83,446.34 from the FY23 Budgeted Reserve. Funding is conditional upon the requirement that an Affordable Housing Restriction that has been approved by the MA Department of Housing and Community Development be executed and filed at the Registry of Deeds. Such restriction shall include a minimum of 27 of the housing units must be affordable to households who earn 60 percent or less of the area median income. Such restriction shall be for a period of 99 years.

APPLICANT:**PROJECT TITLE:****PROJECT LOCATION:****CPA CATEGORY:****CPC PRIORITY RANKING:****CPC RECOMMENDED CPA FUNDING:****CPC RECOMMENDED SOURCE:**

City of Salem

Salem Willows Pier

Willows Park - 200 Fort Avenue

Recreational Land: Rehabilitation/Restoration

High

\$250,000

\$106,650 – FY23 Open Space/Recreation Reserve

\$143,350 – FY23 Budgeted Reserve

PROJECT DESCRIPTION:

The City of Salem Department of Planning & Community Development (DPCD) requested \$250,000 for the replacement of the Salem Willows Pier in coordination with the Massachusetts Office of Fishing and Boating Access and the Division of Marine Fisheries.

The Project is located at the north end of Salem Neck, on the property of Salem Willows Park, a city-owned public open space, primarily used for recreation. The park includes maintained lawns and trees, benches, picnic tables, restroom facilities, gazebos, sports fields, tennis and basketball courts, public parking, public beaches and rocky shoreline, networks of paved and unpaved paths, and a pile-supported pier. The pier is an iconic element of the Salem Willows Park and highly visible from land and sea.



The prior pier extended approximately 345 linear feet from its land-side access, in an east-northeast direction. A pier of similar size, shape, orientation, and general character has existed in the current pier location for more than 100 years; however, the pier has likely been reconstructed and repaired extensively since the original construction. The structure experienced significant damage during storm events in October 2012 (Hurricane Sandy) and February 2013 (winter storm Nemo). Due to the damaged and deteriorating conditions and corresponding concerns for public safety, the pier has been closed or partially open, with restricted access to the public since 2013. The pier was demolished in January 2022 in preparation for the proposed reconstruction.

The City and FBA are proposing the replacement with the proposed pier to be constructed in roughly the same footprint and alignment, and will extend about the same horizontal distance from shore as the prior pier structure. The proposed work also includes the replacement of the gangway hoist ("gallows") frame located off the north side of the pier. Approximately 72 plumb piles will be installed to support the proposed pier and 4 piles (2 plumb and 2 batter) will be installed to support the gangway hoist frame off the north side of the pier. The proposed pier superstructure will consist of three significant elements: a land-side access ramp and stair system, a main pier, and a terminal T-pier. A timber or concrete access ramp and stair system will be constructed within an existing paved area at the landward end of the pier to provide ADA-compliant access to the new elevated pier deck while maintaining existing surrounding grades and surface materials. The proposed main pier will extend seaward from the proposed access ramp and stair system. The main pier will be approximately 330 feet long and 12 feet wide. The proposed terminal T-pier will be approximately 60 feet long and 16 feet wide, centered about its length and perpendicular to the alignment of the main pier. A railing system will be installed continuously around the perimeter of the pier deck. The new recreational fishing pier will be designed to improve

accessibility, safety, functionality, aesthetic appeal, and resiliency, while minimizing adverse environmental and societal impacts.

The pier will continue to be free, open to the public, and serve all residents of Salem, including access to Salem Sound for fishing and general recreation.

Budget Summary

**Indicate the total project costs, including CPA funding request, from all proposed sources .
Application package must include a complete itemized budget of all project costs.
Note: CPA funds cannot be used for maintenance.**

	STUDY	SOFT COSTS*	ACQUISITION	CONSTRUCTION**	TOTAL
SOURCE 1: SALEM CPA <i>(total must match amount requested on cover sheet)</i>	\$	\$	\$	\$ 250,000	\$ 250,000
SOURCE 2: STATE CONTRIBUTION	\$	\$ ALL – AMOUNT UNKNOWN	\$	\$ 2,000,000	\$ 2,000,000
SOURCE 3: SALEM CIP	\$	\$	\$	\$ 1,900,000	\$ 1,900,000
SOURCE 4:	\$	\$	\$	\$	\$
SOURCE 5:	\$	\$	\$	\$	\$
SOURCE 6:	\$	\$	\$	\$	\$
TOTAL PROJECT COST	\$	\$	\$	\$ 4.15M	\$ 4.15M

TIMELINE: The project is in the design and permitting process and is anticipated to begin construction in late fall 2022 or winter 2023 pending receipt of all permits.

CPC RECOMMENDATION:

The Community Preservation Committee voted unanimously to recommend funding this application at \$250,000, with \$106,650 from the FY23 Open Space/Recreation Reserve and \$143,350 from the FY23 Budgeted Reserve.



APPLICANT:
PROJECT TITLE:
PROJECT LOCATION:
CPA CATEGORY:
CPC PRIORITY RANKING:
CPC RECOMMENDED CPA FUNDING:
CPC RECOMMENDED SOURCE:

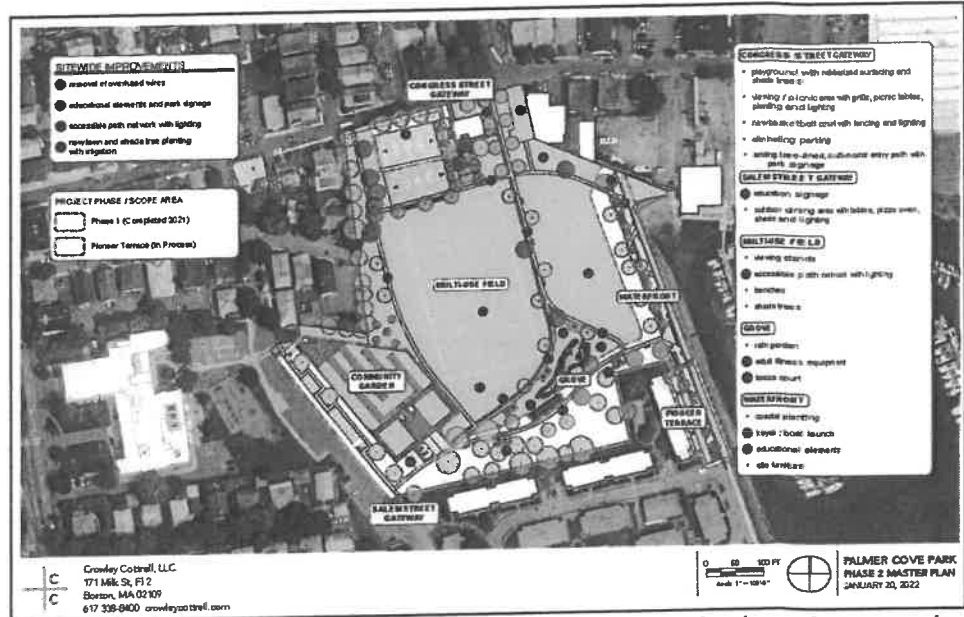
City of Salem
 Palmer Cove Park Renovation – Phase II
 30 Leavitt Street
 Recreational Land: Rehabilitation/Restoration
 High
 \$115,000
 \$115,000 - FY23 Budgeted Reserve

PROJECT DESCRIPTION:

The City of Salem DPCD requested \$115,000 in CPA funds to be used toward the final phase of construction to implement the community's vision for improvements to Palmer Cove Park, including a second basketball court, a new multiuse field, water access, trees, furnishings and public art.

Located in the Point neighborhood, the Palmer Cove Park is across the street from the Saltonstall School and adjacent to Pioneer Terrace, a 104-unit senior housing complex owned and managed by the Salem Housing Authority. Many residents with disabilities and mobility concerns reside in this complex. These neighbors are not well served by the park's aging infrastructure, inadequate pathways and physical barriers to waterfront access. Concerns have also been expressed that the park is underutilized. Stakeholders have identified improved waterfront access, park accessibility, increased recreation opportunities and climate change resiliency as important for revitalizing the space. The City completed a first phase of improvements in 2021 that included a new waterfront promenade, relocation and upgrades of community gardens, refurbished basketball court, new parking, trees, paths, and furnishings.

The City now seeks CPA funds to implement a second and final phase of improvements identified by the neighborhood and other community stakeholders. Proposed Phase II improvements include construction of a second basketball court and conversion of the dilapidated baseball infrastructure to a multipurpose grass field to better meet the community's recreation needs. Additional paths will enhance connectivity within and through the park and site furnishings, including benches, adult exercise equipment, and a bocce court, will draw additional park visitors. New trees and a rain garden will serve as green infrastructure and educational signage will engage learners of all ages with these climate adaptations. Signage formalizing a kayak launch at the northeast corner of Congress and Leavitt Streets, where the North Shore Community Development Coalition is building an affordable housing development and the City is investing in pedestrian infrastructure, an improved park entrance will be constructed.



FINANCIAL:

Budget Summary

INDICATE THE TOTAL PROJECT COSTS, INCLUDING CPA FUNDING REQUEST, FROM ALL PROPOSED SOURCES.
APPLICATION PACKAGE MUST INCLUDE A COMPLETE ITEMIZED BUDGET OF ALL PROJECT COSTS.
Note: CPA funds cannot be used for maintenance.

	STUDY	SOFT COSTS*	ACQUISITION	CONSTRUCTION**	TOTAL
SOURCE 1: SALEM CPA (TOTAL MUST MATCH AMOUNT REQUESTED ON COVER SHEET)	\$	\$	\$	\$ 115,000	\$ 115,000
SOURCE 2: SIGNATURE PARKS	\$	\$ 137,500	\$	\$ 312,500	\$ 450,000
SOURCE 3: FY23 CIP	\$	\$	\$	\$ 140,000	\$ 140,000
SOURCE 4: LWCF	\$	\$	\$	\$ 514,000	\$ 514,000
SOURCE 5:	\$	\$	\$	\$	\$
SOURCE 6:	\$	\$	\$	\$	\$
TOTAL PROJECT COST	\$	\$ 137,500	\$	\$ 1,081,500	\$ 1,219,000

Project Timeline

Project Timeline													2022												2023												2024											
Task	01	02	03	04	05	06	07	08	09	10	11	12	01	02	03	04	05	06	07	08	09	10	11	12	01	02	03	04	05	06	07	08	09	10	11	12												
Construction Documents																																																
Conservation Commission Review																																																
Construction Bidding																																																
Execution of Construction Contract																																																
Mobilization																																																
Construction																																																
Substantial Completion																																																
Construction Punch List																																																
100% Completion																																																
Park Reopening to Public																																																
DCS Inspection																																																
Anticipated funding release																																																
Signature Parks (released)																																																
CPA																																																
CIP																																																
LWCF																																																

CPC RECOMMENDATION:

The Community Preservation Committee voted unanimously to recommend funding this request at \$115,000. The CPC voted to recommend \$115,000 from the FY23 Budgeted Reserve.

APPLICANT:	City of Salem
PROJECT TITLE:	Salem Deed Conservation
PROJECT LOCATION:	City Clerk's Office, 93 Washington Street
CPA CATEGORY:	Historic Resources: Preservation
CPC PRIORITY RANKING:	High
CPC RECOMMENDED CPA FUNDING:	\$15,430
CPC RECOMMENDED SOURCE:	\$15,430 - FY23 Historic Resources Reserve

PROJECT DESCRIPTION:

The City of Salem's City Clerk and the DPCD submitted a request for \$15,430 to hire a document conservator to undertake conservation of the Salem Deed, a 1686 parchment document, and to rehouse the document in an archival frame.

The Salem Deed is a 300 year old parchment document that is used as evidence of the conveyance of the land now known as Salem from the Massachusetts Tribe to English settlers. The Salem Deed is located in the vault in the City Clerk's office at City Hall, 93 Washington Street. While in relatively good condition, an assessment of the document by Northeast Document Conservation Center indicated that it is exhibiting cockling, ink deterioration, areas of parchment loss, and previous repairs that are failing. In addition, the

deed is attached to a rag board in a frame that does not meet current archival standards. Due to the fragile nature of the 300-year-old parchment document, the original deed is not displayed for public viewing. A copy of the document is displayed in the City Council Chambers. As the City nears its 400th anniversary in 2026, conservation of this fragile and irreplaceable document to preserve it for future generations becomes even more important.

The City is seeking to have the document treated by a conservation professional and reframed in a custom made double-sided archival frame. Treatment will include: consolidation of friable and fragile media, including writing ink and wax seals; gently cleaning the parchment supports; reducing pronounced distortions within the supports; and repairing tears as needed. New housing will be provided and will include new 100% cotton rag mat boards and mounts, additional and more substantial hinges, and a new frame.

FINANCIAL:

The Northeast Document Conservation Center assessed the Salem Deed and estimated the cost of the project at \$15,430.

TIMELINE:

Conservator selection process: August 2022-October 2022

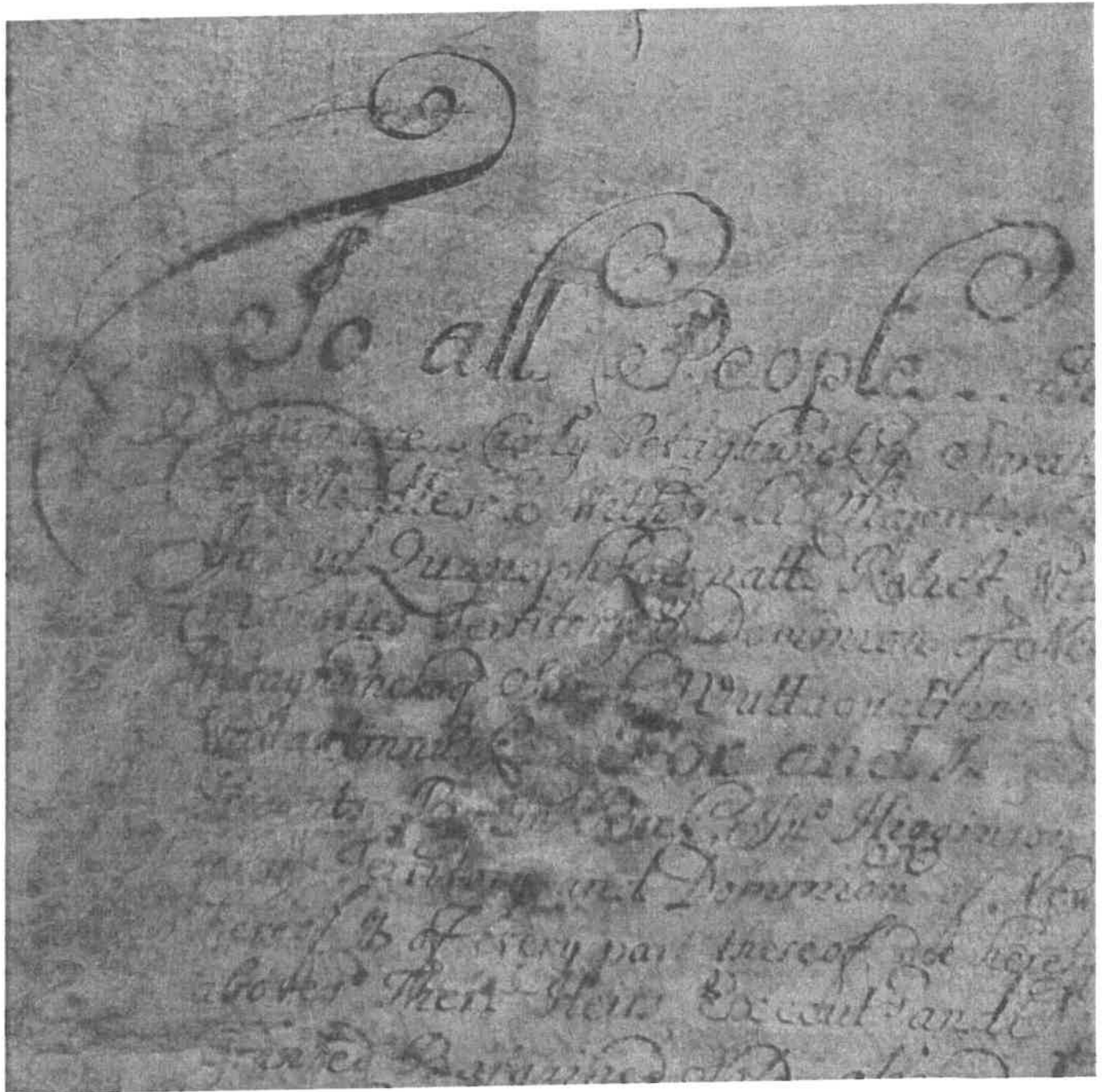
Conservation: November 2022-April 2023

Project completion: May 2023



CPC RECOMMENDATION:

The Community Preservation Committee voted 6 in favor and 2 opposed, with Moriarty and Livramento-Bryant in opposition, to recommend funding this application at \$15,430. The CPC voted to recommend \$15,430 from the FY23 Historic Resources Reserve.



APPLICANT:**PROJECT TITLE:****PROJECT LOCATION:****CPA CATEGORY:****CPC PRIORITY RANKING:****CPC RECOMMENDED CPA FUNDING:****CPC RECOMMENDED SOURCE:**

Sail Salem, Inc. & Salem Park & Recreation

Replacement of Floating Docks

Off Winter Island SW of Cat Cove & E of Footprint Power

Recreational Land: Rehabilitation/Restoration

High

\$96,500

\$96,500 - FY23 Budgeted Reserve

PROJECT DESCRIPTION:

Sail Salem, Inc. and the City of Salem Park & Recreation submitted a request for \$96,500 for the design and construction of replacement wooden floats used for staging and summer storage of sailboats for the Sail Salem youth sailing program on Winter Island.

Sail Salem is in urgent need of replacing the float system for safety and operational efficiency reasons. The current system consists of two large deteriorating floats - the first of which is 10+ years old and the second 5-7 years old. The floats serve as the primary platforms for storing and launching the fleet of Opti and 420



sailboats used by the children and youth summer camp. An older float has been disposed and it is likely that the second will need to be disposed of within the next year given the extensive repairs needed. Sail Salem will be using a temporary solution for the destroyed float for 2022. The harbormaster is also in need of supplemental floats as outlined below.

In partnership with the Salem Harbormaster's office and Salem Park and Rec, Sail Salem is looking to design, construct, and put in place multiple wooden floats. Sail Salem also shares a facility with the Salem Harbormaster at Winter Island Park, and these floats would occasionally serve as additional mooring appliances for stricken vessels, as well as dock space for other marine law enforcement departments participating in regional training exercises or protracted responses to maritime incidents. They would also serve as a platform for a Salem High School sailing team. The floats would be the property of the City of Salem with a memorandum of understanding with Sail Salem.

Having safe well-maintained floats is critical to the operation of the Sail Salem Community Sailing Program. Due to the geography of Winter Island, there is no safe land-based solution to launching the program's sailboats each day. Boats need to be stored on the floats in Cat Cove and launched from these floats each day. Children are shuttled by boat to these floats to reach their assigned sailboats. The program needs a float system with a minimum of 2 major floats and 2 small affixed floats to run the program safely and efficiently. Sail Salem, a grass roots organization, started with donations of used equipment which has continued over the years, but has reached a point that the aged float system has suffered damage from storms and everyday usage and needs to be replaced for the safety of the children and to continue running the program.

Salem, and in particular Winter Island, has a rich sailing and maritime history and Sail Salem is the only Community Boating Program for its residents. As one of the few deep-water ports in New England, Salem's waterfront should be explored and enjoyed by as many as possible; Sail Salem's programs contribute to that recreational exploration and enjoyment.

FINANCIAL:

The basis for the \$96,500 funding request is an initial estimate provided by North Shore Marine based in Salem. If awarded the funds, municipal procurement will be undertaken.

TIMELINE:

July – Sept 2022: Bid and award project

Oct – Dec 2022: Final design

Jan – March 2023: Assemble materials and stage construction

Apr – May 2023: Construction and mooring preparation

May – June 2023: Launch and test

CPC RECOMMENDATION:

The Community Preservation Committee voted unanimously to recommend funding this application at \$96,500. The CPC voted to recommend \$96,500 from the FY23 Budgeted Reserve.

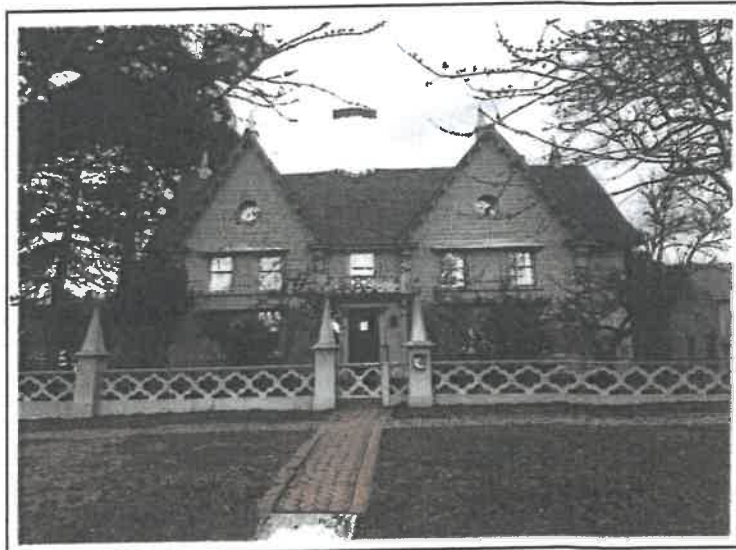


APPLICANT:	Pickering Foundation
PROJECT TITLE:	Pickering House Front Façade Replacement
PROJECT LOCATION:	18 Broad Street
CPA CATEGORY:	Historic Resources: Rehabilitation/Restoration
CPC PRIORITY RANKING:	High
CPC RECOMMENDED CPA FUNDING:	\$80,000
CPC RECOMMENDED SOURCE:	\$80,000 - FY23 Historic Reserve

PROJECT DESCRIPTION:

The Pickering Foundation submitted a request for \$80,000 toward complete replacement of the iconic south-facing Gothic Revival matched board siding and all related trim and details.

The Pickering House was erected c1660 and, unofficially, it is not only the oldest "home" in Salem, it is also the oldest garden and green space in Salem. The site currently includes two buildings (the house and a mid-19th century barn) and 2+ acres of gardens. It has been home to 10 generations of Pickerings, who have played a remarkable role in the founding and



development of our nation. In 1950, the ownership was transferred to the Pickering Foundation, a 501 (c)3 organization. In 1973, the house and barn were added to the National Register of Historic Places as part of a National Register district and in 1981, the property was included in the designation of Salem's McIntire Historic District. The house is used as a space for an annual lecture series, tours in the summer, frequent musical events, and an annual garden party, at which is awarded their Sarah C. Pickering Scholarship of \$2,500 to a deserving Salem High School student. In recent years, it has become a popular rentable space for the community, and has hosted weddings, non-profit events, birthday parties and more. It is also an important stop for local tour guides who interpret both the family and Salem's role in American history.

The Gothic Revival façade of the Pickering House was added in 1841, replacing the existing First Period Colonial façade. In the 1960s, a second layer of matched-board tongue and groove siding of relatively poor quality was installed on top of the 1841 siding, with a layer of tarpaper between the two. In recent years, pronounced cupping and splitting has occurred and it has been determined that the primary cause is moisture collecting in the tarpaper. The house was last painted eight years ago, and caulking was used liberally to seal cracks and openings along trim lines. Close examination of the siding in multiple locations reveals that the siding is in the process of completely failing. The original 1840s siding is still in place and runs behind the ornamental trim. So far, the 1841 siding appears to be in good condition and likely can be saved and used again as a support structure for a new layer of siding, which will be spaced to allow sufficient air flow. However, the 1841 siding was affixed to insubstantial studs that will need to be shored up in order to be reused. The ultimate goal is to properly secure and replace all key elements of the 1841 façade to both protect the underlying Colonial post and beam structure, and to do it in a way that best preserves the integrity and historic character of the Pickering House's unique Gothic Revival façade and contributing elements so that the building can be enjoyed and interpreted for generations to come.

FINANCIAL:

The estimated cost for this project is \$160,000. The Pickering Foundation will provide the 50% match.

TIMELINE:

- Study — HSR completed 2006, updated continuously through 2022.
- Design — All elements of existing design will be retained; no impact on project timeline.
- Environmental — Only consideration is selection of materials and treatment of existing materials. Careful consideration will be shown during construction period for disposal and treatment of any hazardous materials, as required by law, e.g., lead paint.
- Permitting — 90 days, commencing Spring 2022 — Salem Historical Commission permission and building permits.
- Construction — approximately one month \pm one week, commencing and completed Spring 2023.
- Funding sources — All commitments for 50% match by the Pickering Foundation in hand.

CPC RECOMMENDATION:

The Community Preservation Committee voted unanimously to recommend funding this application at \$80,000. The CPC voted to recommend \$80,000 from the FY23 Historic Reserve. Approval is conditional that a Preservation Restriction be executed and filed at the Registry of Deeds and that all work must adhere to the Secretary of the Interior Standards for Treatment of Historic Properties.



APPLICANT:
PROJECT TITLE:

City of Salem
Dickson Memorial Chapel Stained Glass Window
Restoration

PROJECT LOCATION:

Greenlawn Cemetery, 57 Orne Street

CPA CATEGORY:

Historic Resources: Rehabilitation/Restoration

CPC PRIORITY RANKING:

High

CPC RECOMMENDED CPA FUNDING:

\$60,000

CPC RECOMMENDED SOURCE:

\$11,220 - FY23 Historic Reserve

\$48,780 – FY23 Budgeted Reserve

PROJECT DESCRIPTION:

The City of Salem DPCD submitted a request for \$60,000 in order to hire a certified stained glass restoration specialist to restore historic stained glass windows at Dickson Chapel.

Dickson Memorial Chapel is located in Greenlawn Cemetery in the Northfields neighborhood of North Salem. Greenlawn Cemetery was established in 1807 and enlarged in the mid-19th century and designed during the Rural Cemetery Movement. During this time, cemeteries and structural elements were specifically designed to create naturalistic landscapes for people to enjoy as a park. At Greenlawn, extensive tree and shrub plantings, creation of two ponds and meandering paths were



added to create a rural retreat from the bustling of industry in downtown Salem. In 1894, a stone chapel and associated glass conservatory (greenhouse) were built in the cemetery and donated by Salem resident Walter Scott Dickson in honor of his late wife. In keeping with the Rural Cemetery Movement, the Dickson Memorial Chapel served as a place for funerary services while the conservatory and associated gardens served as a place of solace and as a public botanical garden. In the 1980's, the conservatory was removed due to severe storm damage, but its foundation and gardens remain. In 2015, the Chapel, the City's only example of a High Victorian Gothic building, and Greenlawn Cemetery were accepted in the National Register of Historic Places. In 2020, the Cemetery was designated a Level I Arboretum, the only publicly owned cemetery in Massachusetts afforded such accreditation.

Restoration of the Dickson Chapel has been a goal of the City since at least 2014, when a structural assessment was completed for the building. In 2016, the City utilized CPA funds to complete a Preservation and Utilization Plan, which estimated a full restoration cost that exceeded \$1 million, resulting in the City's decision to complete the work in phases. In 2017, the City completed the first phase of restoration, concentrating on emergency conditions. This phase included restoration of the East rose stained glass window after it was determined to be in imminent risk of failure.

This next phase of restoration focuses on the remaining stained glass windows. These windows, original to the building, feature non-ecclesiastical floral motifs in shades of blue, green, brown, gold and cream opalescence and drapery (sculptural) glass. Many of these windows are exhibiting deteriorated wood tracery and severe lead deterioration that has resulted in cracked and missing glass and acute deflection and fatigue. Without immediate treatment, these historic windows will continue to deteriorate until windows collapse resulting in irreparable loss of historic fabric and will lead to increased heating costs, future deterioration through water and weather infiltration to the building's interior and may result in the building's closure to public use. The project will entail the removal of deteriorated windows by a

certified restoration contractor who will disassemble, re-lead, and reassemble the windows. All original glass will be reused with any broken pieces repaired with epoxy. Wood tracery and frames will be restored and painted to replicate the chapel's original trim color Essex Green. New clear protective glass will be installed over each restored window.

The Friends of Greenlawn, which formed in 2012, has been actively advocating and fundraising for the conservation of Dickson Chapel. The group hosts historic tours and walks of the cemetery as well as events to celebrate the history of the chapel. Today, there is interest in continuing its historical use, as well as utilizing the building for other events such as weddings, holiday festivities, historic lectures, and other public gatherings. The future use of the Chapel is dependent on a secure building envelope.

FINANCIAL:

Budget Summary					
INDICATE THE TOTAL PROJECT COSTS, INCLUDING CPA FUNDING REQUEST, FROM ALL PROPOSED SOURCES. APPLICATION PACKAGE MUST INCLUDE A COMPLETE ITEMIZED BUDGET OF ALL PROJECT COSTS. Note: CPA funds cannot be used for maintenance.					
	STUDY	SOFT COSTS*	ACQUISITION	CONSTRUCTION**	TOTAL
SOURCE 1: SALEM CPA (TOTAL MUST MATCH AMOUNT REQUESTED ON COVER SHEET)	\$	\$	\$	\$60,000	\$
SOURCE 2: FRIENDS OF GREENLAWN	\$	\$	\$	\$10,000	\$
SOURCE 3: DICKSON CHAPEL TRUST FUND	\$	\$8,000	\$	\$	\$
SOURCE 4:	\$	\$	\$	\$	\$
SOURCE 5:	\$	\$	\$	\$	\$
SOURCE 6:	\$	\$	\$	\$	\$
TOTAL PROJECT COST	\$	\$8,000	\$	\$70,000	\$78,000

TIMELINE:

Window Conservator Selection Process	September 2022-November 2022
Conservation Process	November 2022-May 2023
Project Completion	June 2023

CPC RECOMMENDATION:

The Community Preservation Committee voted 6 in favor and 2 opposed, with Moriarty and Livramento-Bryant in opposition, to recommend funding this application at \$60,000. The CPC voted to recommend \$11,220 from the FY23 Historic Reserve and \$48,780 from the FY23 Budgeted Reserve. Work must adhere to the Secretary of the Interior Standards for Treatment of Historic Properties.

APPLICANT:
PROJECT TITLE:

Parish of St. Peter's Church
Coping Stone Reinstallation and Cellar Window
Preservation

PROJECT LOCATION:

24 St. Peter Street

CPA CATEGORY:

Historic Resources: Rehabilitation/Restoration

CPC PRIORITY RANKING:

High

CPC RECOMMENDED CPA FUNDING:

\$40,000

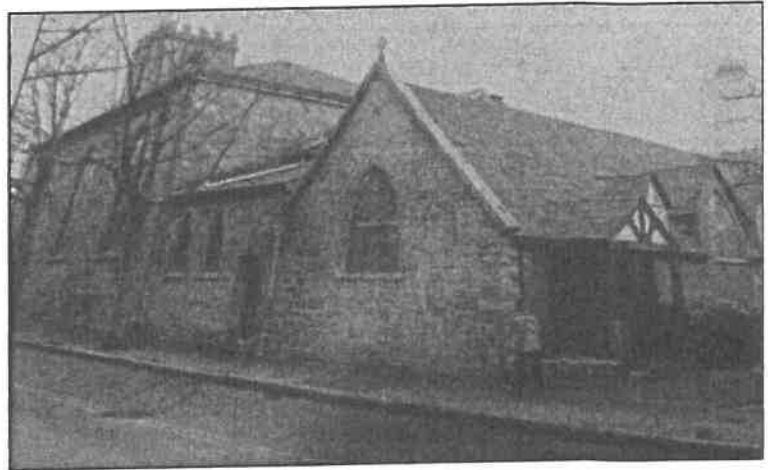
CPC RECOMMENDED SOURCE:

\$40,000 – FY23 Budgeted Reserve

PROJECT DESCRIPTION:

The Parish of St. Peter's Church submitted a request for \$41,455 to reinstall fallen granite coping stones to the roof of the 1872 chapel and to replace clear glass windows (4) to historic condition.

St. Peter's Church was founded in 1733 on land given by Phillip English who was a wealthy Salem merchant accused, with his wife, of witchcraft in 1692. The current church edifice is the second building and was built in 1833 of Cape Ann granite by very prominent architect, Isaiah Rogers. It is renowned as one of the most outstanding ecclesiastical structures of its style and type in the United States. Located the corner of Brown and St. Peter's Streets, the church is listed on the National Register of Historic Places and, for decades periodically, and consistently in 2021, St. Peter's/San Pedro Church has opened its doors for the visiting public to experience its historic building and learn of its history from the early years of the Massachusetts Bay Colony, through the American Revolution and up to today through historic church tours. Most recently, the church was used as a Massachusetts "Stop the Spread" PCR COVID-19 testing site.



The coping stones from the roof of the chapel fell to the ground in 2018 after a single cast iron pin that held them in place gave way after 146 years. In addition, four of the clear glass cellar windows, that flank two of our three 18th century cemeteries need replacement to prevent water infiltration and to keep out unwanted entry from wildlife and other unauthorized entry. This project is urgent because both of these elements protect the historic structure from the elements that cause much wear and tear on the structure. Over time, if the coping stones are not returned to their position of function and the windows not restored to full function and historically preserved, the future condition of the building will be, without a doubt, adversely affected to the point of exorbitantly expensive repairs, and the historic integrity of the structure may be compromised. Please note that the reinstallation of the historic cast iron cross that rested on top of the coping stones is NOT a part of this project budget. It will be attended to by the same contractor to ensure that the joint between the two top stones will be properly sealed and that the warranty for the work completed will not be in jeopardy. That work will be funded by the parish or covered pro bono.

The public benefit of historic preservation of St. Peter's is to ensure its continued presence as a part of the historic landscape of this city for future generations. Literally thousands upon thousands of tourists walk Salem streets every year, many of whom seek out St. Peter's long history and see it still in active use and beauty today. For as long as St. Peter/San Pedro church and chapel are preserved, its historic bells heard, its edifice seen, its impact on our city's history will continue to be learned and treasured.

FINANCIAL:

From April 2022 to August 2022, the Parish shall raise 15% of the project or \$7,200.

TIMELINE:

Three months' time is anticipated for project completion of both the coping stones reinstallation and the cellar window replacement, depending on materials availability.

CPC RECOMMENDATION:

The Community Preservation Committee voted 6 in favor and 2 opposed, with Hoskins and Pattison in opposition, to recommend funding this application at \$40,000. The CPC voted to recommend \$40,000 from the FY23 Budgeted Reserve. Approval is conditional that a Preservation Restriction be executed and filed at the Registry of Deeds and that work must adhere to the Preservation Restriction and the Secretary of the Interior Standards for Treatment of Historic Properties.



APPLICANT:

City of Salem Conservation Commission
& Salem Sound Coastwatch
Volunteer Bridge Rehabilitation
Forest River Conservation Area
Recreational Land: Rehabilitation/Restoration
Medium
\$66,148.66
\$66,148.66 – FY23 Budgeted Reserve

PROJECT TITLE:**PROJECT LOCATION:****CPA CATEGORY:****CPC PRIORITY RANKING:****CPC RECOMMENDED CPA FUNDING:****CPC RECOMMENDED SOURCE:****PROJECT DESCRIPTION:**

The City of Salem Conservation Commission and Salem Sound Coastwatch submitted a request for \$98,231 to make necessary improvements to the Volunteer Bridge and add a new stone seating area that will improve public safety and increase immersive outdoor learning in the Forest River Conservation Area for Salem students and visitors.

The Forest River Conservation Area (FRCA) is the 100 acres of forest and salt marsh that surround the Forest River as it flows between Salem Woods and Salem Harbor. The main entrance and trail head can be found in the southwest corner of Salem State's south campus parking lot, at the end of Harrison Road, off Loring Ave. The wooden boardwalk, referred to as the "Volunteer Bridge" is located approximately half a mile down the main walking trail in the FRCA.

In 2016, Salem's Conservation Commission received CPA funding to evaluate the condition of the trails and related infrastructure. This extensive report, compiled by Kyle Zick Architecture and Landscaping (KZLA) and Childs Engineering Corporation, concluded, among other things that "while generally a good way to make water crossings accessible, the boardwalks on this site cannot be considered ADA accessible due to loose boards and non-level entries, and they do not meet building code without guardrails. Guardrails are needed when the boardwalk is over 30" from the surface of ground, and all the FRCA boardwalks exceed that limit." The report made explicit recommendations that the Volunteer Bridge be replaced and that guardrails be added. Since that time, deterioration has



only worsened.

This project intends to significantly enhance the safety of the bridge by re-framing the bridge while reusing the existing pilings that have been evaluated by Greg St. Louis and Tyler Glode, engineers on the Conservation Commission, and are still in good condition. Atop the new framing, all of the decking will be replaced and a guard rail will be added to both sides of the bridge. A toe-board will also be installed on both sides for the visually impaired. The replacement of the deck surface will include improving wheelchair accessibility for on-ramps on either side of the bridge. The ramps will be extended and redirected to a more sturdy (less mud-prone) ground surface. In addition to the work being done on the Volunteer Bridge, this project will also include the arrangement of a stone seating area along the walking trail. There is an existing seating area at the very beginning of the trail, approximately thirty yards from the entrance/parking lot. This existing area is a perfect location for introductory activities and a more centrally located seating area would allow visitors to be fully surrounded by all that the conservation area has to offer. Lastly, the scope of this project includes the addition of several informative trail signs along the main trail. Locations for the signs were determined to encourage visitors to be more mindful and informed when exploring the FRCA. The first sign will include general information: defining an estuary, salt marsh and the other present ecosystems. It will include some "species to look for" as well. The second sign, near the new seating area approximately a quarter mile up the trail, will define stormwater and describe stormwater's influence on the surrounding ecosystems and will delineate the watershed around the FRCA. The third sign, located near the upgraded Volunteer Bridge, will go into greater detail about the adjacent salt panne, the freshwater river that contributes to the marsh and will discuss the impact of invasive species like the phragmites which surrounds the bridge. The three signs will be bilingual, illustrative and chock-full of information about the marsh's diverse ecosystems, multitude of species, stormwater influence and general human impact.

This area holds value in the Salem community by way of recreation and education. Many utilize the area for jogging, biking, bird watching, or a morning stroll with their dogs, as it provides a quiet respite from the urban Salem environment. Another way that community members, specifically elementary aged students, may experience the conservation area is through SSCW's School-to-Sea programming. For the last eight years, SSCW has brought two hundred 6th grade students to the salt marsh and surrounding trails of the Forest River Conservation area. Students engage in activities that introduce them to general watershed concepts, river hydrology, and the multitude of wildlife found in and around the marsh, as well as learning about the impacts of invasive species and erosion on aquatic environments and the landscape. SSCW brings groups of 20+ students to and from the sides of the river and even conducts an activity on the bridge itself. Specifically, students set and retrieve fish traps, as the bridge is the only possible and appropriate location to do so within the marsh. From the bridge, students can observe more than two distinct and unique habitats: life within a salt panne, compared to a flowing, highly vegetated brackish river.

In the opinion of SSCW, components of this project are incredibly urgent, as next year's 6th graders are expected to participate in the annual Salt Marsh Study field trip in the fall of 2022. Each year, the trip is attended by at least one student in a wheelchair, if not a few. Wheelchair-bound students are not always able to engage in all of the activities because of the bridge's sloped surfaces, loose boards and lack of guard rails and toe boards. SSCW makes every effort to include all students, but at this time, the unsafe condition of the bridge is a limiting factor. SSCW also utilizes the FRCA for its annual Teach Institute, a week-long professional development opportunity that provides teachers with outdoor teaching experience and helps them bring locally relevant learning to their classrooms.

The area's potential for outdoor education is undeniable and is already regularly utilized by learners of all ages. Most notably, preschool children from the Greenhouse School and Toddle Inn, college students in the biology department of Salem State University, 6th graders from Saltonstall and Collins Middle School and teachers participating in professional development with SSCW.

FINANCIAL:***Budget Summary***

INDICATE THE TOTAL PROJECT COSTS, INCLUDING CPA FUNDING REQUEST, FROM ALL PROPOSED SOURCES.

APPLICATION PACKAGE MUST INCLUDE A COMPLETE ITEMIZED BUDGET OF ALL PROJECT COSTS.

Note: CPA funds cannot be used for maintenance.

	STUDY	SOFT COSTS*	ACQUISITION	CONSTRUCTION**	TOTAL
SOURCE 1: SALEM CPA (TOTAL MUST MATCH AMOUNT REQUESTED ON COVER SHEET)	\$	\$	\$	\$ 98,231.00	\$ 98,231.00
SOURCE 2: IN-KIND DONATIONS	\$	\$	\$	\$ 150,000.00	\$ 150,000.00

TIMELINE:

TASKS	TIMING			
	July	August	September	October
PRE-CONSTRUCTION				
Finalize construction drawings				
Begin to acquire all materials (by donation or purchase)				
Solicit volunteers				
Apply for building permit and CCoC				
CONSTRUCTION				
Area Prep (acquire dumpster and tarps for lumber area)				
Install necessary erosion control				
Prep lumber in parking lot and bring in small loads			continue as needed	
Remove existing bridge decking				
Repair tops of pilings as needed				
Install new subflooring - headers and joists				
Install new decking and ramps				
Install guardrails and toeboard				
TRAIL WORK				
Clear area for new seating area - remove brush and stumps			continue as needed	
Bring in granite slabs to new seating site				
Fill wet trail areas and exposed fabric with stone dust				
Place fallen trees at erosional areas to slow flow				
SIGNAGE				
Begin drafting design/content for each sign				
City review and and approve design/content				
Purchase sign and frame				
Install Signage				

CPC RECOMMENDATION:

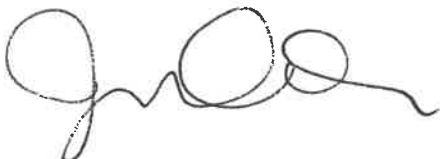
The Community Preservation Committee voted unanimously to recommend funding this application at \$66,148.66. The CPC voted to recommend \$66,148.66 from the FY23 Budgeted Reserve.

May 11, 2022

Honorable City Council Members,

The Salem Cultural Council is an integral part of the creative community, and as such, we are writing to bring attention to our request for representation on the City Council. As proud residents of Salem, we hope to find meaningful ways to contribute to the vibrant arts and culture scene in our city by awarding grants, supporting community events, and collaborating with the local organizations that bring arts and culture to life in Salem. A Councilor with knowledge of, and experience with, the importance of Arts funding in Salem, specifically with regard to ARPA and future arts granting funds, is an essential support for our goal of being recognized as an agent of the arts for the city. We SCC members request that a liaison and representative to the City Council, and a clear avenue for communicating with the Council on matters of funding and supporting public art in Salem.

Sincerely,

A handwritten signature in black ink, appearing to read 'John Dobroski', with a stylized, cursive script.

John Dobroski
Chair, Salem Cultural Council

Current Councilors:

Matthew Cornell
Jess Conger-Henry
Samuel Lim
Robin Panzer
Allie Shvonski
Ziggy Hartfelder
Melissa Stockbridge

City of Salem

In the year Two Thousand and Twenty-Two

An Ordinance to amend an ordinance relative to zoning.

Section 1. Amend Section 3.1 *Table of Principal and Accessory Use Regulations* by inserting the following uses within C. Commercial Uses and E. Accessory Uses:

<i>C. Commercial Uses</i>	RC	R1	R2	R3	B1	B2	B4	B5	BPD	NRCC	I
Medium-Scale Ground Mounted Solar Energy System	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Large-Scale Ground Mounted Solar Energy System	N	N	N	N	Y	Y	Y	Y	Y	Y	Y
<i>E. Accessory Uses</i>											
Canopy Mounted Solar Energy System	Y	Y	Y	Y	Y	N	N	N	N	-	PB
Roof-Mounted Solar Energy System	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Small-Scale Ground Mounted Energy System	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Medium-Scale Ground Mounted Solar Energy System	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y

Section 2. Amend Section 4.1.2 *Notes to Table of Dimensional Requirements* by inserting the phrase “roof-mounted solar energy systems” immediately following the word “ventilators” as it appears in paragraph 7 and further amend this Section by inserting the following new paragraphs:

“8. Small- and medium-scale ground mounted solar energy systems accessory to principal use may be located no closer than ten (10) feet from the front, side, or rear lot line.

9. Lot Coverage-Ground mounted solar energy systems shall not count towards building coverage as defined in Section 10.0 definitions.”

Section 3. Amend Section 6 Special Regulations by adding the following new section:

“Section 6.12-Solar Energy Facilities

6.12.1 Purpose. The purpose of this section is to accommodate solar energy facilities in appropriate locations, while minimizing any adverse visual, safety, and environmental impacts of the facilities.

6.12.2 Applicability. This section applies to all uses identified as requiring a site plan review per Section 9.5.2 or a special permit for ground mounted solar energy facilities per Section 3.1, Table of Uses.

6.12.3 Siting Preferences. Where a solar facility is sited, as well as placement on the site once selected, is an important consideration. The City strongly discourages locations that result in significant loss of land and natural resources, including farm and forest land, and encourages rooftop siting, as well as locations in industrial and commercial districts, or on vacant, disturbed land. Significant tree cutting is problematic because of the important water management, cooling, and climate benefits trees provide.

6.12.4 Dimensional Regulations

1. Height- For primary uses see Section 4, Table 4.1.1. For accessory uses see Section 4.1.2.7

2. Setbacks- For primary uses see Section 4, Table 4.1.1. For small- and medium-scale ground mounted solar energy systems accessory to principal use may be located no closer than ten (10) feet from the front, side, or rear lot line. All ground-mounted solar energy systems in residential districts shall be installed either in the side yard or rear yard to the extent practicable.

3. Lot Coverage-Ground mounted solar energy systems shall not count towards building coverage as defined in Section 10.0 definitions.

6.12.5 Special Permit.

1. The Planning Board is hereby designated the Special Permit Granting Authority (SPGA) for solar energy systems. The SPGA shall adopt rules relative to the application for special permits for ground mounted solar plan approval and file a copy with the City Clerk. After notice and public hearing and after due consideration of the reports and recommendations of other city boards, commissions and or departments, the SPGA may grant such a permit. The SPGA shall also impose any applicable conditions determined by the SPGA to be reasonably appropriate to improve the site design and to serve the purposes of this section.
2. The Planning Board shall include as part of its special permit review and proceedings all the provisions and requirements of the Site Plan Review standards applicable to

large-scale ground-mounted solar energy systems. See Section 9.4 for additional Special Permit Requirements.

6.12.6 Large and Medium Scale Ground Mounted Solar Energy System Site Plan Review

1. Site Plan Documentation Required. In addition to the requirements of Section 9.5, the following items shall be included:

- (a) Scaled drawings or designs of the solar energy system showing the proposed layout of the system, any potential shading from nearby structures, the distance between the proposed solar collector and all property lines and existing on-site buildings and structures, and the tallest finished height of the solar collector;
- (b) Documentation of the major system components to be used, including the panels, mounting system, and inverter(s);
- (c) Additional requirements for large scale ground mounted solar energy systems
 - (i) One or three line electrical diagram detailing the solar photovoltaic installation, associated components, and electrical interconnection methods, with all Massachusetts Electric Code (527 CMR 12.00) compliant disconnects and overcurrent devices;
 - (ii) Documentation of actual or prospective access and control of the project site (see also Solar Design Guideline Document);
 - (iii) An operation and maintenance plan (see Solar Design Guideline Document);
 - (iv) Proof of liability insurance; and
- (d) Decommissioning plan, including details from 6.12.7.2.a-b.

6.12.7 Large and Medium Scale Ground Mounted Solar Energy System Maintenance, Removal, and Abandonment

1. Monitoring and Maintenance.

- (a) Solar Energy System Installation Conditions - The ground-mounted solar energy system owner or operator shall maintain the facility in good condition. Maintenance shall include, but not be limited to, painting, structural repairs, and integrity of security measures. Site access shall be maintained to a level acceptable to the Building Commissioner. The owner or operator shall be responsible for the cost of maintaining the solar energy system and any access road(s), unless accepted as a public way.
- (b) Modifications - All material modifications to a ground-mounted solar energy system made after issuance of the required building permit shall require approval by the Site Plan Review Authority.

2. Abandonment or Decommissioning

(a) Removal Requirements-Any ground-mounted solar energy system which has reached the end of its useful life or has been abandoned consistent with Subsection (b), below of this ordinance shall be removed. The owner or operator shall physically remove the installation no more than 150 days after the date of discontinued operations. The owner or operator shall notify the Site Plan Review Authority by certified mail of the proposed date of discontinued operations and plans for removal. Decommissioning shall consist of:

(i) Physical removal of all solar energy systems, structures, equipment, security barriers and transmission lines from the site

(ii) Disposal of all solid and hazardous waste in accordance with local, state, and federal waste disposal regulations.

(iii) Stabilization and re-vegetation of the site as necessary to minimize erosion. The Site Plan Review Authority may allow the owner or operator to leave landscaping or designated below-grade foundations in order to minimize erosion and disruption to vegetation.

(b) Abandonment-Absent notice of a proposed date of decommissioning or written notice of extenuating circumstances, the large-scale ground-mounted solar energy system shall be considered abandoned when it fails to operate for more than one year without the written consent of the Site Plan Review Authority. If the owner or operator of the solar energy system fails to remove the installation in accordance with the requirements of this section within 150 days of abandonment or the proposed date of decommissioning, the City retains the right, after the receipt of an appropriate court order, to enter and remove an abandoned, hazardous, or decommissioned large-scale ground-mounted solar energy system. As a condition of Site Plan approval, the applicant and landowner shall agree to allow entry to remove an abandoned or decommissioned installation.

(c) Once decommissioning is complete, the owner shall request an inspection from the City within ten (10) days of removal.

6.12.8 Site Plan Review-Roof-mounted and Small-scale Ground-Mounted Solar Energy Systems

1. Applicability-Where these solar energy systems may be accessory to a use allowed through Site Plan Review, the Site Plan Review shall include review of their adequacy, location, arrangement, size, design, and general site compatibility.

6.12.9 Pre-Existing Non-Conforming Uses and Structures

Improvements that do not change the use or the basic exterior characteristics of the building or structure are allowed. Such improvements include but are not limited to the installation or replacement of solar energy systems.”

Section 4. Amend Section 8.4.15 *Site Plan Review* of Section 8.4 *North River Canal Corridor Neighborhood Mixed Use District* by inserting the following additional site plan requirement as the fourth requirement and renumbering the requirements to a total of five:

“4. Adequate net-zero-energy plan;”

Section 5. Amend Section 9.4.2 *Criteria* of Section 9.4 *Special Permits* within Section 9 *Administration and Procedures* by deleting the following:

“5.Impacts on the natural environment including view; and”

and replacing it with the following:

“5.Impacts on the natural environment including greenhouse gas emissions and view; and”

Section 6. Amend Section 9.5.2 *Applicability* of Section 9.5 *Site Plan Review* within Section 9 *Administration and Procedures* by adding the following at the end of paragraph number 2:

3. Large scale ground mounted solar energy system in the R3, B2, B4, B5, BPD, NRCC, or I district; or
4. Medium scale ground mounted solar energy system in the RC, R1, R2, or R3 district.”

Section 7. Amend Section 9.5.3 *Application* of Section 9.5 *Site Plan Review* within Section 9 *Administration and Procedures* by deleting the phrases “fifteen (15) copies of” and “include fifteen (15) copies of” as they appear in the first paragraph and further amend this Section by adding the following to the end of this Section:

- “11. Plans depicting the property lines and physical features, including roads, for the project site;
12. Proposed changes to the landscape of the site, grading, vegetation clearing and planting, exterior lighting, screening vegetation or structures;
13. Locations of active farmland, wetlands, permanently protected open space, Priority Habitat Areas and BioMap 2 Critical Natural Landscape Core Habitat mapped by the Natural Heritage & Endangered Species Program (NHESP) and “Important Wildlife Habitat” mapped by the DEP.
14. Locations of floodplains or inundation areas for moderate or high hazard dams; and
15. Locations of local or National Historic Districts.
16. Location, arrangement, size, and design of roof mounted and small-scale ground mounted solar energy systems.”

Section 8. Amend Section 9.5.4 *Narrative* of Section 9.5 *Site Plan Review* within Section 9 *Administration and Procedures* by inserting the Phrase “, including parking with electric vehicle charging stations and parking for bicycles;” at the end of paragraph number 2 and further amending this Section by inserting the following after paragraph number 8 and renumbering the requirements to a total of 10:

- “9. Sustainability and resiliency, including energy planning and alignment with local climate mitigation goals;”

Section 9. Amend Section 9.5.5 *Distribution* of Section 9.5 *Site Plan Review* within Section 9 *Administration and Procedures* by replacing the words “his” with “their” as they appear in the first paragraph and further amending the first paragraph of this Section by inserting the phrase “Head of the Sustainability Department or their designee,” immediately preceding the phrases “Board of Health”.

Section 10. Amend Section 9.5.6 *Review Criteria* of Section 9.5 *Site Plan Review* within Section 9 *Administration and Procedures* by adding the following to the end of this Section:

14. Adequacy and general site compatibility of roof mounted and small-scale ground mounted solar energy systems; and
15. Adequacy of a net-zero-energy plan to outline site energy uptake, creation, and consumption.”

Section 11. Amend Section 10 *Definitions* by adding the following new definitions:

Net-zero energy site: a site that is optimally efficient, and over the course of a year, generates energy onsite, using clean renewable resources, in a quantity equal to or greater than the total amount of energy consumed onsite.

Net-zero-energy plan: A document outlining a development’s energy sources, locations (on or off-site), and consumption. The Plan outlines how the development can become a net-zero energy site, as defined above; or, why achieving net-zero energy site is not possible through renewable resources on-site, given site or other constraints.

Photovoltaic System (also referred to as Photovoltaic Installation): An active solar energy system that converts solar energy directly into electricity.

Rated Nameplate Capacity: The maximum rated output of electric power production of the photovoltaic system in watts of Direct Current (DC).

Solar Access: The access of a solar energy system to direct sunlight.

Solar Collector: A device, structure or a part of a device or structure for which the primary purpose is to transform solar radiant energy into thermal, mechanical, chemical, or electrical energy.

Solar Energy: Radiant energy received from the sun that can be collected in the form of heat or light by a solar collector.

Solar Energy System: A device or structural design feature, a substantial purpose of which is to provide daylight for interior lighting or provide for the collection, storage and distribution of solar energy for space heating or cooling, electricity generation, or water heating.

Solar Energy System, Active: A solar energy system whose primary purpose is to harvest energy by transforming solar energy into another form of energy or transferring heat from a collector to another medium using mechanical, electrical, or chemical means.

Solar Energy System, Canopy-Mounted: An active solar energy system that creates a roof over an existing parking lot; may be of any size (small, medium, large), so long as it complies with Section 3.2.4 Accessory Buildings and Structures.

Solar Energy System, Grid-Intertie: A photovoltaic system that is connected to an electric circuit served by an electric utility.

Solar Energy System, Ground-Mounted: An Active Solar Energy System that is structurally mounted to the ground and is not roof-mounted; may be of any size (small-, medium- or large-scale).

Solar Energy System, Large-Scale: An Active Solar Energy System that occupies more than 20,001 square feet of surface area (equivalent to a rated nameplate capacity of about 250kW DC or greater).

Solar Energy System, Medium-Scale: An Active Solar Energy System that occupies more than 1,751 but less than 20,000 square feet of surface area (equivalent to a rated nameplate capacity of about 10 - 250 kW DC).

Solar Energy System, Off-Grid: A photovoltaic solar energy system in which the circuits energized by the solar energy system are not electrically connected in any way to electric circuits that are served by an electric utility.

Solar Energy System, Passive: A solar energy system that captures solar light or heat without transforming it to another form of energy or transferring the energy via a heat exchanger.

Solar Energy System, Roof-Mounted: An Active Solar Energy System that is structurally mounted to the roof of a building or structure; may be of any size (small-, medium- or large-scale).

Solar Energy System, Small-Scale: An Active Solar Energy System that occupies 1,750 square feet of surface area or less (equivalent to a rated nameplate capacity of about 10 kW DC or less).

Solar Thermal System: An Active Solar Energy System that uses collectors to convert the sun's rays into useful forms of energy for water heating, space heating, or space cooling."

Section 12. This Ordinance shall take effect as provided by City Charter.

In City Council January 13, 2022

Referred to the Planning Board to hold a Joint Public Hearing

Joint Public Hearing held on March 7, 2022

Joint Public Hearing Closed by a roll call vote of 11 yeas, 0 nays, 0 absent

Referred to the Planning Board for their recommendation by a roll call vote of 11 yeas, 0 nays and 0 absent

In City Council March 24, 2022

Referred to the Committee on Ordinances, Licenses and Legal Affairs co-posted with the Committee of the Whole

In City Council May 12, 2022

Adopted as amended for first passage by a roll call vote of 11 yeas, 0 nays, 0 absent

ATTEST:

ILENE SIMONS
CITY CLERK

City of Salem

In the year Two Thousand and Twenty-Two

An Ordinance to amend an ordinance relative to zoning.

Section 1. Amend Section 8 *Special District Regulations* by adding the following new section:

8.7 Bridge Street Neck Overlay District

8.7.1 Purpose. The purpose of Bridge Street Neck Overlay District (BSN) is to enhance the Bridge Street Neck neighborhood by helping to achieve the vision and principles of the Bridge Street Neighborhood Vision Update Plan (2020 or most recent edition), including:

1. Maintain a thriving small and local business district.
2. Encouraging clusters of retail and mixed-use development on Bridge Street.
3. Developing a vibrant, family-friendly neighborhood, affordable to residents across a range of incomes.
4. Developing a sense of place based on the neighborhood's location, unique assets, history, and architecture.
5. Enhancing the public realm through improved site-planning, sidewalk amenities, and open spaces.
6. To provide certainty regarding acceptable land uses and development design.

8.7.2 District Boundaries. The Bridge Street Neck Overlay District shall be established as an overlay district superimposed on all underlying zoning districts within the Bridge Street Neck Overlay District boundaries. The boundary extends to all parcels north of Webb Street that abut Bridge Street, in addition to 2, 4, 6, 8, and 10 Pierce Avenue; 2, 4, 6, 8 and 10 Waite Street; 38 Rear Bridge Street; 3-5, 6, and 7 Cromwell Street; 18 East Collins Street; and 9 Lathrop Street, as shown on the official zoning map.

8.7.3 Eligible Uses.

1. A developer may elect either to develop a project in accordance with the requirements of the Bridge Street Neck Overlay District, or to develop a project in accordance with requirements of the regulations for use, dimension, Section 8.4, and all other provisions of the Zoning Ordinance governing the underlying zoning district(s).
2. If a use is permitted by the Bridge Street Neck Overlay District but not by the underlying zoning, it shall be considered a permitted use and is not eligible for a special permit pursuant to Section 3.3.2 of the Salem Zoning Ordinance.
3. Uses are permitted as set forth in the following Table of Bridge Street Neck Uses. Uses permitted through a Special Permit are granted by the Planning Board.

BRIDGE STREET NECK TABLE OF USES	
Residential	
Dwelling, Two-Family	Y
Dwelling, Multifamily	SP
Dwelling unit above first floor retail, personal service, or office use	Y
Planned unit development	N
Office	
Business or professional office	Y
Medical or dental office	Y
Retail	
Retail store, except department store	Y
Personal service establishment	Y
Restaurant; snack bar	Y
Restaurant	Y
Bank, financial agency	Y
Industrial	
Brewery, distillery, or winery with tasting room	Y
Computer hardware development	SP
Light manufacturing	SP
Publishing and printing	Y
Research, laboratories, and development facilities	SP
Commercial	
Arts and crafts studios and workshops	Y

8.7.4 Administrative Plan Review Applicability. The Director of Planning and Community Development or their designee shall review all Administrative Plan Review applications in accordance with the criteria set forth in 8.7.12, with no testimony or submission of evidence as would be allowed at a public hearing. Each project hereunder shall require an administrative plan review:

1. An addition of less than two thousand (2,000) gross square feet.
2. **Façade Improvements.**

8.7.5 Site Plan Review Applicability. The Planning Board shall review all such submitted plans in accordance with the provisions of Section 9.5 and 8.7. At the time of filing an application under Section 8.7.13, the applicant shall provide a copy of the application to the City of Salem Design Review Board. Each project hereunder shall require site plan review approval:

1. An addition of more than 2,000 square feet; or,
2. Any project that includes a request for a Development Standard Waiver Special Permit.

8.7.6 Development Standard Waiver Special Permit Applicability. Recognizing that the Development Standards cannot anticipate all circumstances or innovative approaches, a waiver may be requested from the development standards specified in Section 8.7.8.

to provide the ability to create appropriate variations.

8.7.7 Building Design Guidelines

1. Purpose and overview

- A. Building investments should strengthen the neighborhood, reinforce its intimate and historic scale, and contribute to the vitality, activity, and continuity of a walkable place. The following design guidelines are intended to help achieve these goals. Although they are advisory in nature, project applicants are strongly encouraged to incorporate, as applicable. Explanatory diagrams are provided to assist with the various guidelines.
- B. Bridge Street Neck has experienced almost continuous development over its three centuries of existence, resulting in a variety of historic architectural styles present. While new development need not mimic previous buildings or styles, it should be designed in a way that complements and harmonizes with the character of nearby existing properties with respect to architecture, scale, landscaping and screening.
- C. Additions to historic buildings, as defined by having a Form B on the State Massachusetts Cultural Resource Information System (MACRIS) database or listed as a contributing resource in the Bridge Street Neck National Register Historic District, should be clearly subordinate to the historic building.
- D. Historic architectural features should be preserved whenever possible or reproduced as needed. Retention of architectural detailing and inclusion of similar detail in new projects is encouraged.

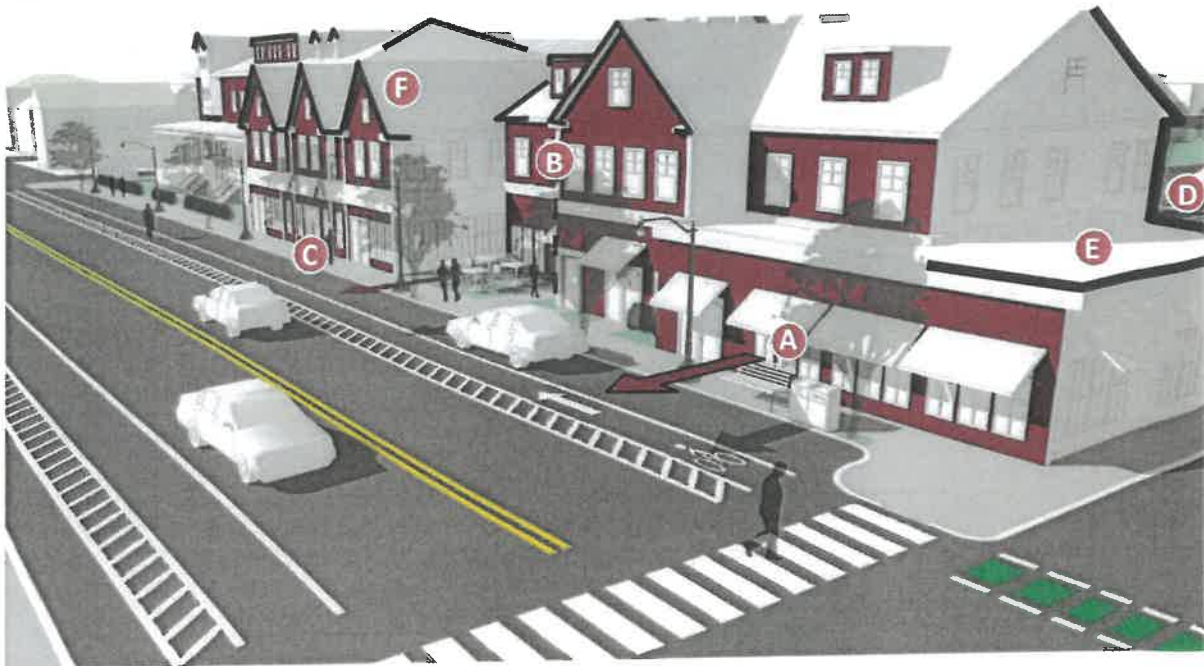
2. Site and building design

- A. **Building Orientation.** Buildings should be located and oriented towards the street.
- B. **Building Mass.** The historic context of the neighborhood should be respected. Large buildings should be visually reduced by changes in the massing, architectural elements, and other articulations. Generally, larger buildings should be articulated into bays of 40 feet or less.
- C. **Setbacks.** Historically, buildings had minimal front setbacks along Bridge Street. New development should replicate this streetscape pattern with minimal setbacks, as well. Setbacks are appropriate to provide outdoor seating. Setbacks may also be used strategically to set apart signature buildings.
- D. **Reduce Visual Impact of Parking.** Parking should be located in the rear of buildings. Where possible, driveways should be consolidated.
- E. **Sensitive Building Height.** Where appropriate, building height of proposed development should be sensitive to its context, such as through stepping down a portion of the building to meet the height of adjacent buildings, if the adjacent buildings are historic.
- F. **Interesting Rooflines.** No one roof type characterizes the neighborhood's buildings, although the front gable is most common. Roofs of new buildings should respect the styles that currently exist.

The following two diagrams (Figure 1 and Figure 2) provide two views of a hypothetical development to visually represent the provisions of 8.7.7.2.A through 8.7.7.2.F. Figure 1: Site and building design diagram (1 of 2)



Figure 2: Site and building design diagram (2 of 2)



3. Façade Design

- A. Facade Organization. Facades should be divided horizontally into a base, middle, and top with distinct visual cues for each section. The base provides the anchor for the structure, while displaying ground-floor activity. The middle portion reflects uses on upper floors, often with smaller, regularly spaced windows. The top of the building transitions and integrates with the roof.
- B. Active Ground-floor Uses. Activity on the ground floor, facing the street, strengthens the vibrancy of the neighborhood. This activity traditionally includes shops, restaurants,

and other businesses. It may also include residential lobbies, community rooms, exercise rooms, cafes, or gallery spaces.

- C. Ground-floor Windows. The ground floor of buildings should generally include a higher percentage of window glazing compared to the rest of the building (60% is often a target). Glass should be clear, as opposed to tinted or reflective.
- D. Canopies and Awnings. Canopies and awnings can be used to provide a human-scaled element to the ground-floor of buildings by reducing the building's appearance of bulk and mass. They also provide protection from the elements.
- E. Architectural Details. Facade details help reinforce the neighborhood's character. Facade details can draw attention to the doors, windows, ground floor levels, cornices,

and eaves of buildings. They can also help modulate the mass of large buildings by dividing them into a pattern of smaller bays.

- F. High Quality Materials. High quality and durable materials, such as clapboard (wood or composite), stone, and brick, should be used where possible. Vinyl siding and other synthetic materials should generally be avoided.

The following two diagrams (Figures 3 through 6) provide diagrams and photos to visually represent the provisions of 8.7.7.3.A through 8.7.7.3.E.

Figure 3: Facade Design Diagram (1 of 4)



Figure 4: Facade Diagram (2 of 4)

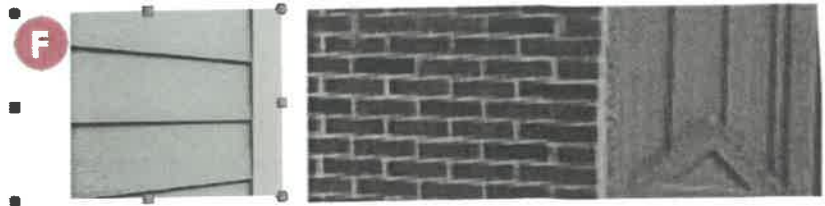


Figure 5: Facade design diagram (3 of 4)

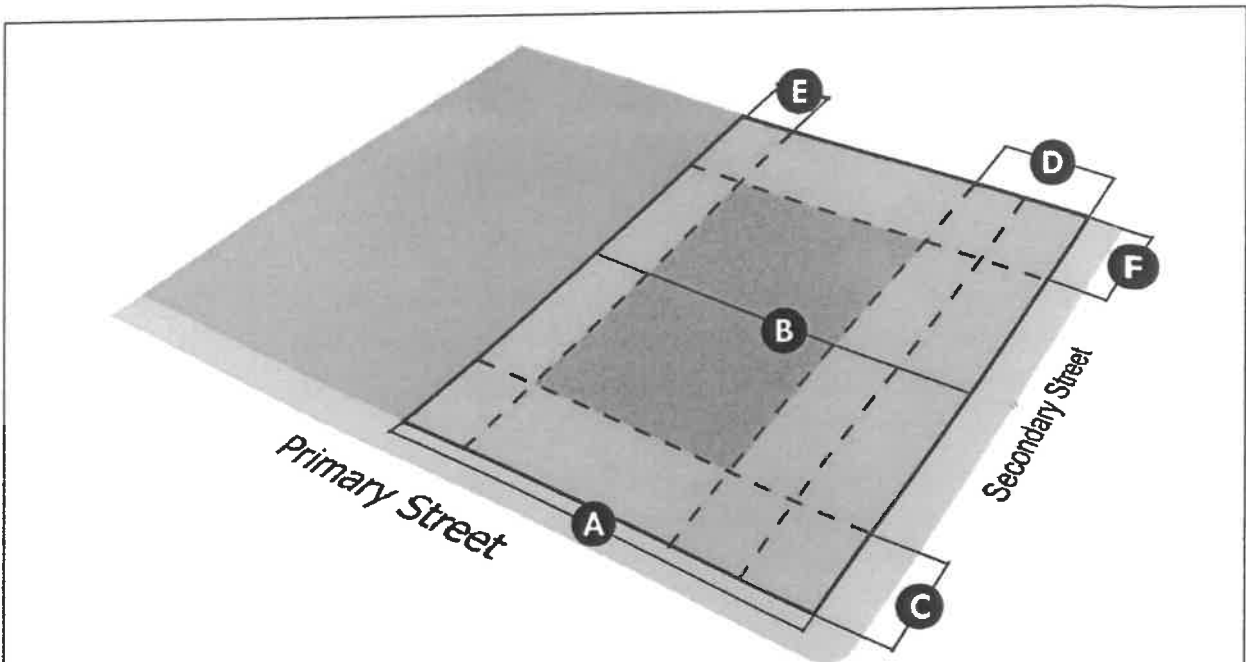


Figure 6: Facade design diagram (4 of 4)



8.7.8 Development Standards

1. **Lot Standards.** In order to achieve the purpose of this ordinance, all development shall comply with the following standards:



Lot Requirements			Setback Requirements		
--	Minimum lot size	5,000 SF	C	Primary street setback (min/max)	0 ft / 10 ft
A	Minimum frontage	60 ft	D	Secondary street setback (min/max)	10 ft / 20 ft
B	Minimum lot width	60 ft	E	Side setback (min)	10 ft or 0 ft if a common wall
--	Open space	15% if containing residential; 0% otherwise	F	Rear setback (min)	20 ft

- A. Primary street refers to Bridge Street
- B. Secondary street applies to corner lots and refers to the street which intersects Bridge Street
- C. Where a primary street setback is greater than 0 ft, the following standards shall apply:
 - a. Within the front setback, the space shall be used for one or more combination of:
 - i. Outdoor seating associated with a ground-floor establishment.
 - ii. Publicly available open space, such as a plaza or the like.

- iii. Stoops leading to the building's entryway. In such cases the area outside of the stairs and associated walkway, if any, shall be highly landscaped with a variety of native plants, shrubs, grasses, and trees.
- iv. An enclosed extended shopfront occupying a portion of the building. See standards for extended shopfront in Section [insert].
- v. Front garden space.
- b. The Planning Board may allow a waiver for greater setbacks whereby in its judgement, doing so will contribute to an improved public realm. Space within the additional front setback shall not be used for parking purposes.
- c. Parking is prohibited within the front setback, unless a waiver is granted by the Planning Board. Consideration will be given only in situations where locating parking beyond the front setback is considered impractical or infeasible.
- d. The setback requirements herein shall not be considered the setbacks for trees in Salem Code of Ordinances Section 43-51. The provisions of Chapter 43, public trees remain applicable.

D. Open space requirements may include common roof-decks, courtyards, yards, gardens, space for seating associated with eating establishments and other communal spaces. Private balconies and vehicular space, such as parking and driving lanes are excluded from meeting the minimum requirement.

2. Building Standards

The following table provides standards for new buildings constructed in the BSN.

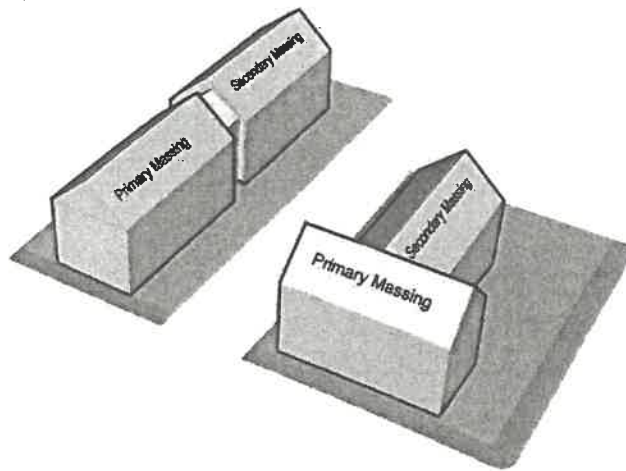
Building Requirements	
Building height (max)	38 ft for pitched roof building, excluding Mansard 35 ft flat roof building or Mansard
Ground floor height (min)	12 ft commercial; 10 ft otherwise
Second story height (min)	10 ft
Half story height (min)	10 ft
Ground floor glazing (min)	60% commercial 30% other
Maximum number of dwelling units	1,700 sf of lot area per dwelling unit
Space between multiple buildings on the same lot	10 ft or 0 ft if a common wall
Lot coverage (max)	75%
Building length (max)	100 ft
Vertical façade modulation (min)	40 ft

3. Building Design Standards

New buildings and substantial building renovations shall be reviewed with reference to the building design standards. If, in the opinion of the Planning Board, deviations from the standards and guidelines contained herein would improve the overall design of the proposed project, the standards in question may be waived.

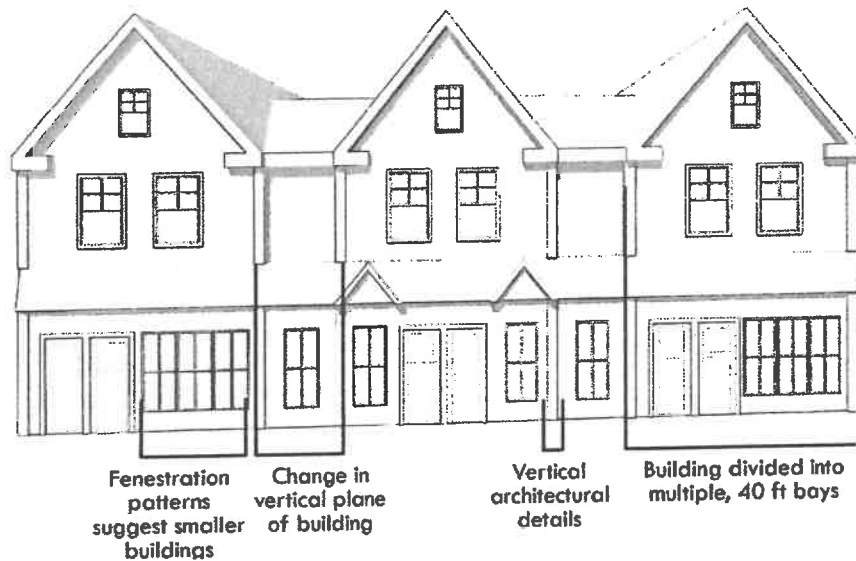
1. The Planning Board may permit multiple buildings and uses on the same lot, provided all standards are met.
2. A building shall be comprised of a primary mass and an optional secondary mass. The primary massing of a building must be of rectangular form. The primary massing may be oriented either with its narrow end or long side toward the front lot line. The building façade must be built parallel to the front lot line.

Examples of primary and secondary building mass assembly



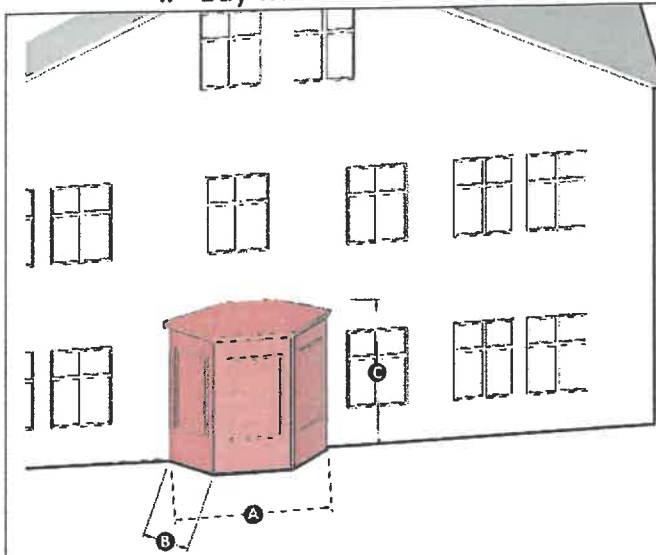
3. Buildings shall have roofs that complement the existing context, including front gable, side gable, hip, Mansard, and flat roofs. The Planning Board may permit additional roof styles where it believes the applicant has demonstrated that the proposed roof will improve the visual character along Bridge Street.
4. Multi-story buildings with ground-floor commercial spaces must have one principal entrance for each commercial space in addition to any principal entrance(s) necessary for upper floors.
5. Unless otherwise noted, façade glazing shall consist of highly transparent, low reflectivity glass. Façade glazing requirements are only applicable to front facades along the primary street. Façade glazing is measured between two feet and twelve feet of the first floor façade.
6. Vertical façade modulation reduces the visual bulk of large buildings by designing buildings to visually read as smaller buildings. To achieve this effect buildings greater than 40 feet in width shall be articulated through changes in the vertical plane of the building (minimum one foot and maximum 4 feet), vertical architectural details such as columns, pilasters, and the like, or fenestration patterns that suggests smaller buildings.

Example of vertical articulation elements



7. Building components are accessory elements integrated into the building's massing that increase a building's usefulness and provide a means for achieving variety and individuality in design.
 - i. The intent of this section is to provide a clear and flexible system for enabling the construction of new buildings and modification of existing buildings in a manner consistent with the neighborhood's character and vision.
 - ii. The following components and associated standards are allowed on buildings with frontage on the primary street.
 - iii. The Planning Board may permit additional building components via special permit if it determines the proposed component further enhances the building's design in relationship to the neighborhood character, is appropriate within the neighborhood context, and is consistent with the Purpose of this Ordinance.

i. Bay window



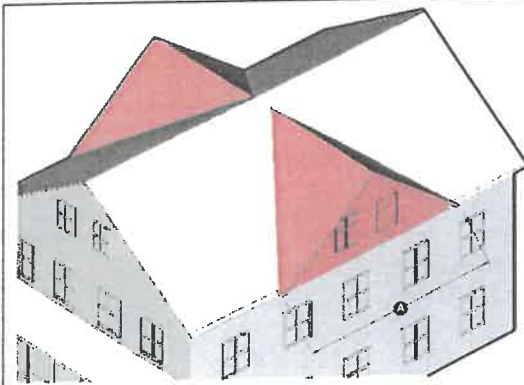
Description: an enclosed window assembly extending from the face of a building element to permit increased light, multi-dimensional views, and articulate a building façade.

A	Width (max)	16 ft
B	Projection (min / max)	0.5 ft / 4 ft
C	Top Plate height	Max equal to total number of full building stories
--	Fenestration	30% min

Standards:

1. Bay windows must attach to a single building face and may not wrap around corners.
2. Bay windows may be three-sided or curved.

ii. Cross Gable



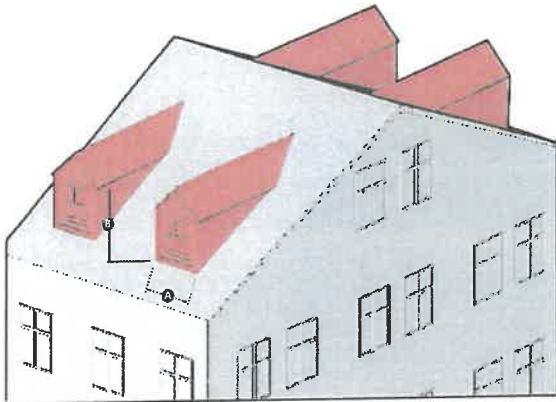
Description: a gable roof that projects perpendicular from the roof of the primary building to increase the habitable space within the roof

A	Width	Equal to the width of the narrowest building face
--	Fenestration	20% min

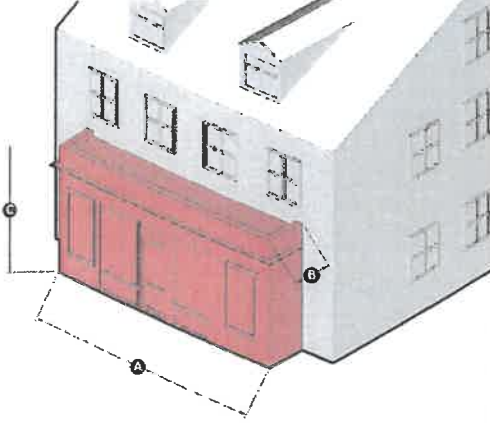
Standards:

1. Height may not be higher than the ridge beam of the primary building
2. Two cross gables of equal size and roof pitch may be used together

iii. Dormer

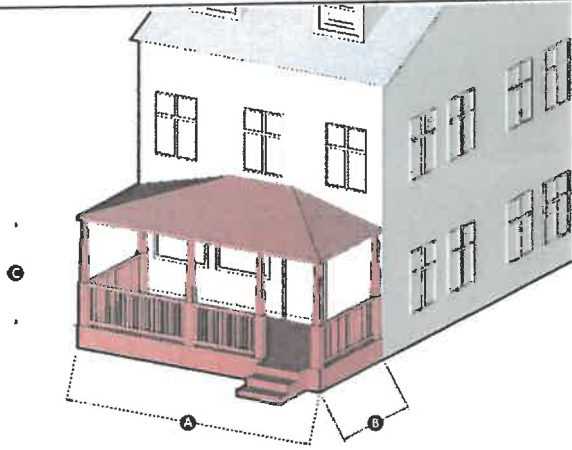
		<p>Description: a window or group of windows with a gable, hip, or shed roof that projects vertically from the roof of a building element, designed to provide increased light and expand the habitable space within a roof.</p>
A	Width (max)	Window(s) width + 18 inches
B	Height (max)	No higher than height of roof
<p>Standards:</p> <ol style="list-style-type: none"> 1. Setback from ridgeline must be 3 ft or greater. 2. Setback from side wall must be 1 ft or greater. 3. Separation between dormer(s) shall be a minimum of 50% of the dormer width. 4. 		

iv. Extended Shopfront

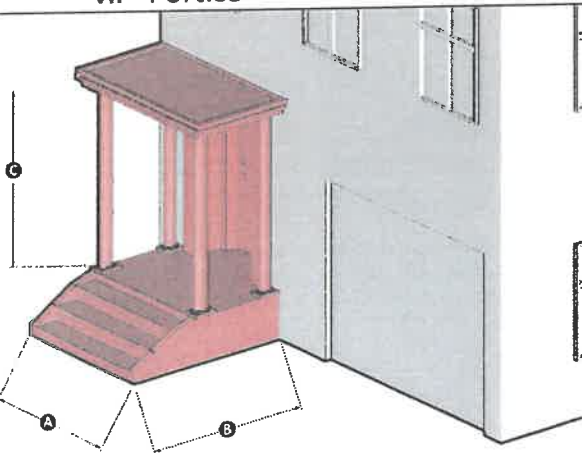
		<p>Description: an extension of the front of a building to provide new or expanded commercial space and a shopfront.</p>
A	Width (max)	No more than the width of the building face to which it attaches
B	Projection (max)	10 ft
C	Height (max)	Equal to the total number of full building stories
--	Fenestration (min)	70% ground floor 30% upper floors
<p>Standards:</p> <ol style="list-style-type: none"> 1. Extended shopfronts may wrap around corners of the building face. 		

2. An extended shopfront may have a flat roof.
3. Extended shopfronts are permitted only on new construction.

v. Porch

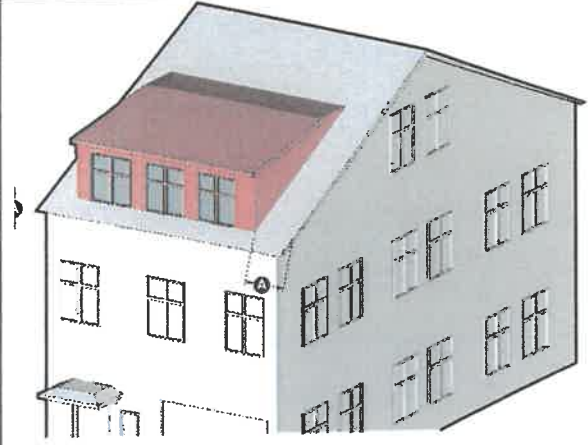
		Description: a raised platform with stairs that provides access to a building entrance.
A	Width (max)	No more than the width of the adjoining building face
B	Projection (min / max)	6 ft / 12 ft
C	Height (min)	7 ft
--	Fenestration (min)	60% when enclosed
Standards: <ol style="list-style-type: none"> 1. Porches may be partially or fully enclosed. 2. Stairs may extend off the front or side of the porch, except when a porch is located on an upper floor in which case the stairs cannot be located along the primary frontage. 3. The space between piles or piers shall be hidden with material or plantings on all sides. 4. 		

vi. Portico

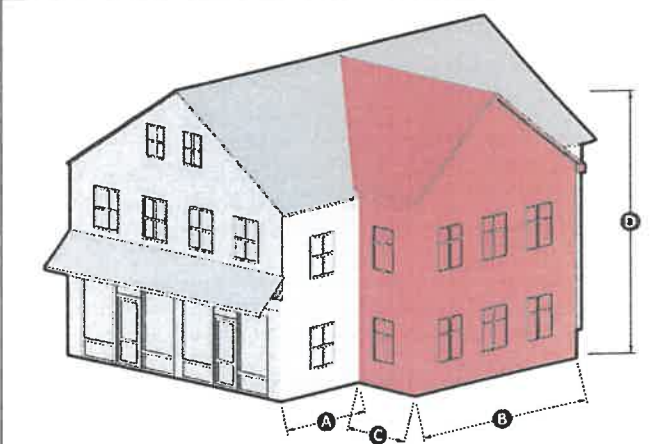
		Description: a roofed structure above a stoop or platform supported on columns or pillars, which shields occupants from inclement weather and provides access to a building entrance.
A	Width (min)	3.5 ft

B	Projection (min / max)	3.5 ft / 6 ft
C	Height (min)	8 ft
Standards: <ol style="list-style-type: none"> 1. A portico may not exceed the height of the primary ridge beam on the building element to which it attaches. 2. A portico must be elevated on a platform at least 1' from the ground. 		

vii. Shed Dormer

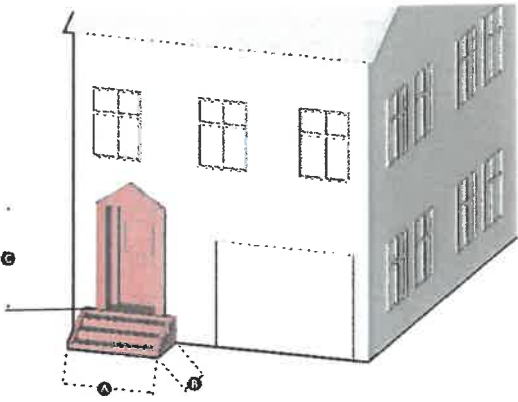
		Description: a room, or portion of a room with a shed roof that projects vertically from the roof of a building element, designed to provide increased light and expand the habitable space under a roof.
A	Gable end setback (min)	1 ft
--	Fenestration	30% min
Standards: <ol style="list-style-type: none"> 1. Windows should be vertically proportioned and no more than 3 ft wide. 2. Shed dormers must have a minimum 4:12 slope. 3. The dormer must not extend beyond the eave line. 		

viii. Side wing

		Description: a multi-story extension from the side walls of a building's primary or secondary massing.
A	Setback from facade (min)	8 ft
B	Width (max)	2/3 width of primary building
C	Projection (max)	12 ft

D	Height	Equal to or less than the height of the primary building
--	Fenestration (min)	20%
Standards: <ol style="list-style-type: none"> 1. A primary building mass may have only one side wing per side. 2. Additional building components, e.g. doors and porches, may attach to the side wing. 		

ix. Stoop

		Description: a component featuring a set of stairs with a landing to the entrance of a building.
A	Width (min)	3.5 ft
B	Projection (min)	3.5 ft
C	Height (min)	7 ft
Standards: <ol style="list-style-type: none"> 1. Stoops may be recessed into the building façade. 2. Stoop may be built perpendicular or parallel to the building face, but must lead directly to ground level or an abutting sidewalk from the building entrance. 3. Stoops may be configured as a split stair to access a below grade unit. 4. If a stoop is built encroaching onto a sidewalk, it must provide at least 5 ft clear and unobstructed between its outermost face and the face of the curb. 		

4. Parking Standards. Parking areas in the BSN shall meet the following criteria:

A. Parking location

- Parking shall be located to the rear and side of a building where physically feasible.
- Where parking is located on the side of a building and visible from the street or adjacent properties, it shall be screened through densely planted hedging or fencing, which in the opinion of the Planning Board effectively screens the

parking and is of a quality that positively contributes to the character of the neighborhood.

B. Parking ratios

- i. Residential uses shall have 1.0 spaces per unit
- ii. Commercial uses shall have 4 spaces per 1,000 sf of leasable floor space
- iii. Other uses shall have 3 spaces per 1,000 sf of net floor area

C. Parking requirements reduction

- i. The Planning Board may grant a waiver that allows a decrease in the required number of parking spaces through consideration of the following:
 - i. On-Street Parking Off-Set. For commercial uses parking spaces required to meet the minimum off- street parking requirements may include publicly available on- street parking spaces along the building lot frontage on the same side of the street for non-residential uses.
 - ii. Shared Parking and Mixed Use.
 - 1. A combination of uses on-site using shared parking lots with offset peak demand times where: a shared parking agreement with onsite uses where uses have offset peak demand times; uses have a high rate of parking turnover; or evidence of similar uses and location situations operating successfully with lower amounts of parking.
 - 2. In commercial or mixed-use developments where shared parking is proposed, the Planning Board may require an evaluation prepared by the applicant following the procedures of the Urban Land Institute (ULI) Shared Parking Manual (latest edition) or the Institute of Transportation Engineers (ITE) Shared Parking Guidelines (latest addition), or other approved procedures determined by the Planning Board.
 - iii. Car-Sharing Program. The Planning Board may approve a parking reduction where an active car-sharing program is made available to residents and/or employees of a development Site; and where cars for the car-share program are available on the site or within a 700-foot walking distance of the site.

5. Screening requirements

A. Loading Facilities.

- i. Outdoor loading facilities, including all docks and areas used for the storage and staging of good or materials must be screened from view with landscaping or by a

wall or fully closed fence , as necessary to sufficiently screen delivery vehicles. If a wall or fence is used it must be constructed of materials that are compatible with the building in terms of texture, quality, and color.

- ii. Exterior entrances and access to loading facilities that are fully enclosed within a building must have an opaque, self-closing door constructed of materials that are compatible with the principal building in terms of texture, quality, and color.

B. Service Areas

- i. Trash collection, trash compaction, recycling collection and other similar service areas must be fully enclosed within a building or located to the side or rear of the buildings and screened appropriately.
- ii. Exterior entrances and access to service areas that are fully enclosed within a building must have an opaque, self-closing door constructed of materials that are compatible with the principal building in terms of texture, quality, and color.
- iii. Outdoor service areas that are visible from a public street, public space, or abutting properties in the Residence district must be fully screened by a wall or fully closed fence at least six (6) feet in height with self-closing access doors and constructed of materials that are compatible with the principal building in terms of texture, quality, and color.

C. Mechanical Equipment

- i. Roof-mounted mechanical equipment, except sustainable energy systems, and elevator or stairwell penthouses must be set back at least ten (10) feet from the exterior walls of a building.
- ii. New buildings must provide a parapet wall or other architectural element constructed of materials that are compatible with the building in terms of texture, quality, and color that screens the visibility of roof-mounted mechanical equipment from any a public street or public space.
- iii. Wall-mounted mechanical equipment on any surface that is visible from a public thoroughfare (excluding an alley) or civic space must be screened by landscaping or an opaque screen constructed of materials that are compatible with the principal building in terms of texture, quality, and color.
- iv. Ground-mounted mechanical equipment that is visible from a public street or public space must be screened by landscaping, a fence, or a wall constructed of materials that are compatible with the principal building in terms of texture, quality, and color.
- v. Vents attached to a wall must not be located along the façade of the Primary Street and should be painted to blend in with the color of the building façade upon which it is located.
- vi. Screening must be of a height equal to or greater than the height of the mechanical equipment being screened.
- vii. An acoustic study of any relevant mechanical equipment on the effects of abutting properties and the public realm shall be included in the application materials.

8.7.9 Administrative Plan Review Application. Any application for approval of an administrative plan review under this section shall be accompanied by the application requirements of Section 9.5.

8.7.10 Site Plan Review Application. In addition to the application requirements of Section 9.5, the site plan review shall include a narrative of how the project complies with the criteria set forth in Section 8.7.13.

8.7.11 Development Standards Waiver Special Permit Application. Such application shall be accompanied by a narrative that describes of how the project complies with the criteria in Section 8.7.14, despite the request for said Waiver set forth.

8.7.12 Administrative Plan Review Criteria. The Planning Director or their designee shall review all such submitted plans in accordance with the development standards established in Section 8.7.8.

8.7.13 Site Plan Review Criteria.

1. The Planning Board shall review all such submitted plans in accordance with the design guidelines herein and the following criteria:
 - A. The development standards established in Section 8.7.8. unless otherwise waived by special permit from the Planning Board.
 - B. Adequacy of the building layout in a way to create a presence on main corridor street edges.
 - C. Adequacy of the parking facility to be located to the rear or side of the structures whenever physically feasible and adequacy of avoiding large expanses that are unbroken by buildings or substantial landscaped areas.
 - D. Adequacy of the pedestrian connection to streets and pedestrian ways.
 - E. Adequacy of traffic calming measures that discourage cut through traffic in the rear parking lot of any site.
2. The Design Review Board shall review all such submitted plans in accordance with the design guidelines herein and the following criteria:
 - A. Adequacy of the design to complement and harmonize with adjacent land uses (existing and proposed) with respect to architecture, scale, landscaping and screening.
 - B. Adequacy of the use of building materials and details that are consistent with the architectural heritage of surrounding buildings.
 - C. Adequacy of new facade elements on existing buildings to use materials and details that are consistent with the architectural heritage of the buildings on which they are located.

8.7.14 Development Standards Waiver Special Permit Criteria. In the Bridge Street Neck Overlay, no development standard waiver shall be approved unless all the following criteria, in lieu of those set forth in Section 9.4, are found to exist as part of the granting of a special permit by the Planning Board:

1. The Design Review Board makes an advisory recommendation that the deviations from the standards and guidelines contained herein would improve the overall design of the proposed project.
2. The Planning Board finds that the overall design would be more compliant with the intent and purpose of the ordinance and the Bridge Street Neighborhood Vision Update (2020 or most recent edition) than a strict adherence to the guidelines.

8.7.15 Administrative Plan Review Action. The Planning Director or their designee shall approve the plan provided that the plan complies with the review criteria herein. If a project does not comply with the review criteria, the applicant shall be directed to revise the plan or apply for a Site Plan Review and Development Standard Waiver Special Permit.

8.7.16 Site Plan Review Action. The Planning Board shall not take final action on the application until it receives written recommendation on the application from the Design Review Board of the Salem Redevelopment Authority.

8.7.17 Development Standard Waiver Special Permit Action. Action shall not be taken on any plan for a Site Plan Review until it has received a recommendation from the Design Review Board of the Salem Redevelopment Authority concerning the design of the project. The Design Review Board shall refer to the Development Standards and Guidelines herein and the Bridge Street Neck Vision Update Plan (2020 or most recent edition) when making their recommendation.

1. The Design Review Board's recommendation shall state the applicable standard(s), whether the alternative design approach meets the Design Guidelines and if a waiver is recommended.
2. The Planning Board must provide a written determination and finding whether the alternative design approach meets the requirements of the Design Criteria. Such determination shall state the applicable standard(s), the reason for granting an alternative, the applicable Design Criteria, and how the alternative meets the Design Criteria.

8.7.18 Administrative Plan Review Appeal. Any appeal of a decision of the Planning Director pursuant to this section shall be appealed to the Planning Board.

8.7.19 Site Plan Review Appeal. Any decision of the Board pursuant to this section shall be appealed in accordance with G.L. c. 40A, s. 17 to a court of competent jurisdiction.

Section 2. Amend Section 2.2 Overlay Districts by inserting the following district:

Bridge Street Neck Overlay District

TABLE OF PRINCIPAL AND ACCESSORY USE REGULATIONS											
PRINCIPAL USES	RC	R1	R2	R3	B1	B2	B4	B5	I	BPD	NRCC
A. RESIDENTIAL USES											
Planned unit development***	N	N	N	PB	PB	PB	PB	PB	PB	Y	-

Section 3. Amend Section 3.1 TABLE OF PRINCIPAL AND ACCESSORY USE REGULATIONS by inserting three asterisks to Planned Unit Development with the following table note.

***Planned unit development is not permitted in the Bridge Street Neck Overlay District.

In City Council March 10, 2022

Referred to the Planning Board to hold a Joint Public Hearing by a roll call vote of 11 yeas, 0 nays and 0 absent

Joint Public Hearing held on April 13, 2022 and advertised in the Salem News on March 30, 2022 and April 6, 2022

Joint Public Hearing closed by a roll call vote of 10 yeas, 0 nays and 1 absent

Referred to the Planning Board for their recommendation by a roll call vote of 10 yeas, 0 nays and 1 absent

In City Council May 12, 2022

Motion to strike 8.7.4 was defeated by a roll call vote of 2 yeas, 9 nays and 0 absent

Motion to change lot area from 1700 to 1500 square feet was defeated by a roll call vote of 3 yeas, 8 nays and 0 absent

Adopted for first passage as amended by a roll call vote of 11 yeas, 0 nays and 0 absent