

Salem

ORDERED:

Notice having been given and public hearing held, as provided by law, that the NATIONAL GRID be and it is hereby granted permission to excavate the public highways and to run and maintain underground electric conduits, together with such sustaining and protecting fixtures as said company may deem necessary, in the public way or ways hereinafter referred to, and to make the necessary house connections along said extensions, as requested in petition with said company dated the 31st day of July 2018.

Said underground electric conduits shall be located substantially in accordance with the plan filed herewith marked – Dodge St - Salem - Massachusetts. Plan # 26438904.

The following are the public ways or part of ways along which the underground electric conduits above referred to may be laid:

Dodge St - National Grid to install beginning at a point approximately 160 feet East of the centerline of the intersection of Washington St and Dodge St and continuing approximately 25 feet in a South direction. Customer to trench and install conduit to MH 56 located on sidewalk. National Grid to break into MH 56 and connect to customer installed conduit.

I hereby certify that the foregoing order was adopted at a meeting of the
.....
....., held on the day of, 20
....., 20

Received and entered in the records of location orders of the City/Town of
Book Page

Attest:

.....

..... hereby certify that on20....., at o'clock,M
at, a public hearing was held on the petition of
NATIONAL GRID for permission to construct the underground electric conduits described in the
order herewith recorded, and that I mailed at least seven days before said hearing a written notice
of the time and place of said hearing to each of the owners of real estate (as determined by the last
preceding assessment for taxation) along the ways or parts of ways upon which the Company is
permitted to construct the underground electric conduits under said order. And that thereupon said
order was duly adopted.

.....

.....

ORDER FOR LOCATION FOR TELECOMMUNICATIONS WIRES AND WIRELESS ATTACHMENTS AND APPURTENANCES

By the City Council

Of the City of Salem, Massachusetts, _____, 2017

250
Highland
Ave

ORDERED:

That pursuant to Massachusetts General Laws, Chapter 166, NEW CINGULAR WIRELESS PCS, LLC ("AT&T") is hereby granted locations for and permission to construct and maintain telecommunications wires and wireless attachments and appurtenances, including fiber optic cable(s), remote nodes and pole top antennas, to be attached to existing National Grid utility poles, located upon, along and under the public ways within the City of Salem, as substantially shown on the plans filed with said Petition. In addition, AT&T is hereby granted permission to install conduit or direct bury fiber cable(s) as depicted on the plans submitted.

The forgoing permission is subject to the following conditions:

1. The telecommunications wires and wireless attachments and appurtenances shall installed and operated in compliance with all applicable federal and state laws and regulations.
2. AT&T shall indemnify and save the City harmless against all damages, costs and expense whatsoever to which the City may be subjected in consequence of the acts or neglect of AT&T or its agents or servants, or in any manner arising from the rights and privileges granted by the City.
3. AT&T shall comply with the requirements of existing City Ordinances, as may be applicable and such as may hereafter be adopted governing the construction and maintenance of said telecommunications wires and wireless attachments and appurtenances, so far as the same are not inconsistent with the laws of the United States or of the Commonwealth of Massachusetts.

I hereby certify that the foregoing was adopted at a meeting of the City Council of the City of Salem, Massachusetts, held on the _____ day of _____, 2017.

City Clerk

APPROVED

We hereby certify that on _____, 2017, at _____, o'clock at _____, a public hearing was held on the Petition of NEW CINGULAR WIRELESS PCS, LLC ("AT&T") for permission to construct and maintain telecommunications wires and wireless attachments and appurtenances, including fiber optic cable(s), remote nodes and pole top antennas, to be attached to existing utility poles, located upon, along and under the public ways within the City of Salem and to install conduit or direct bury fiber cable(s) as indicated in the plans described in the order herewith recorded, that we mailed at least seven days before said hearing a written notice of the time and place of said hearing to each of the owners of real estate (as determined by the last preceding assessment for taxation) along the ways or parts of ways upon which the Company is permitted to construct the telecommunications wires and appurtenances of AT&T under said order, and that thereupon said order was duly adopted.

City Council of the City of Salem

CERTIFICATE

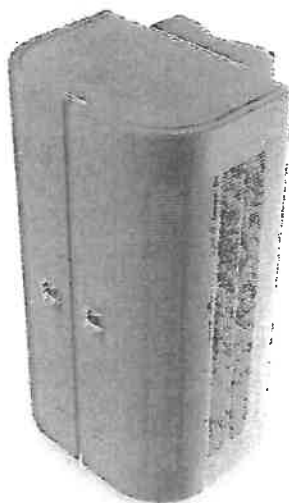
I hereby certify that the forgoing is a true copy of a grant of location order and certificate of hearing with notice adopted by the City Council of the City of Salem, Massachusetts, on the _____ day of _____, 2017, and recorded with records of location orders of said City, Book _____, Page _____. This certified copy is made under the provisions of Chapter 166 of the Massachusetts General Laws, as amended.

Attest:

City Clerk

Curved Shroud

Technical Product Description



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Disclaimer

The contents of this document are subject to revision without notice due to continued progress in methodology, design, and manufacturing. Ericsson shall have no liability for any error or damage of any kind resulting from the use of this document.

DESCRIPTION

The Curved Shroud is a pole mounted radio concealment. Its compact rounded shape design and variable powder coat finishes blends with surrounding infrastructure.

TECHNICAL SPECIFICATION

COMPLIANCE

Telcordia GR-487-CORE:

Exposure to High-Temperature

Environmental Induced Vibration

Seismic Test

Transportation Vibration (for configuration with up to 4x 2203 radios)

MECHANICAL

Width x Depth x Height:

18" x 12" x 32"

Weight:

70 lbs. (enclosure only)

Internal Volume:

3.8 cu. ft.

MOUNTING

Pole Mounting:

Wood/Steel (6" offset available) metal banding or thru bolt

FINISH

Variable Powder Coat Finishes

GROUNDING

Isolated ground bar with ¼-in stud, 5/8 ctr-ctr, copper ground bar

CABLE ENTRY

6 cable egress/ingress knock-out

OPTIONAL EQUIPMENT CONFIGURATIONS

Up to 4x Ericsson 2203

Up to 2x 2203 and 1x mRRUS12

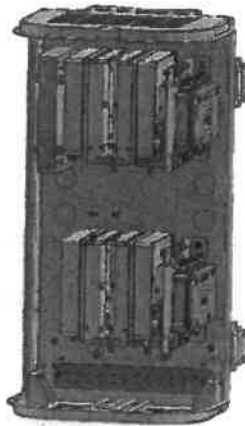
Integrated bracket for up to 2x twin-diplexer

Integrated bracket for outdoor rated fiber termination box

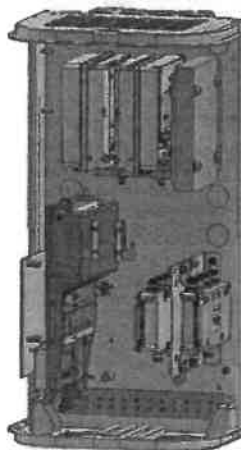


ENCLOSURE CONFIGURATIONS

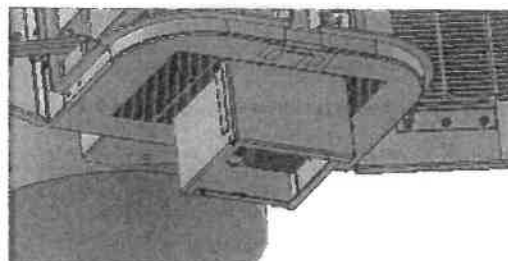
- 4x 2203, 2x twin-diplexer, 1x Fiber termination box

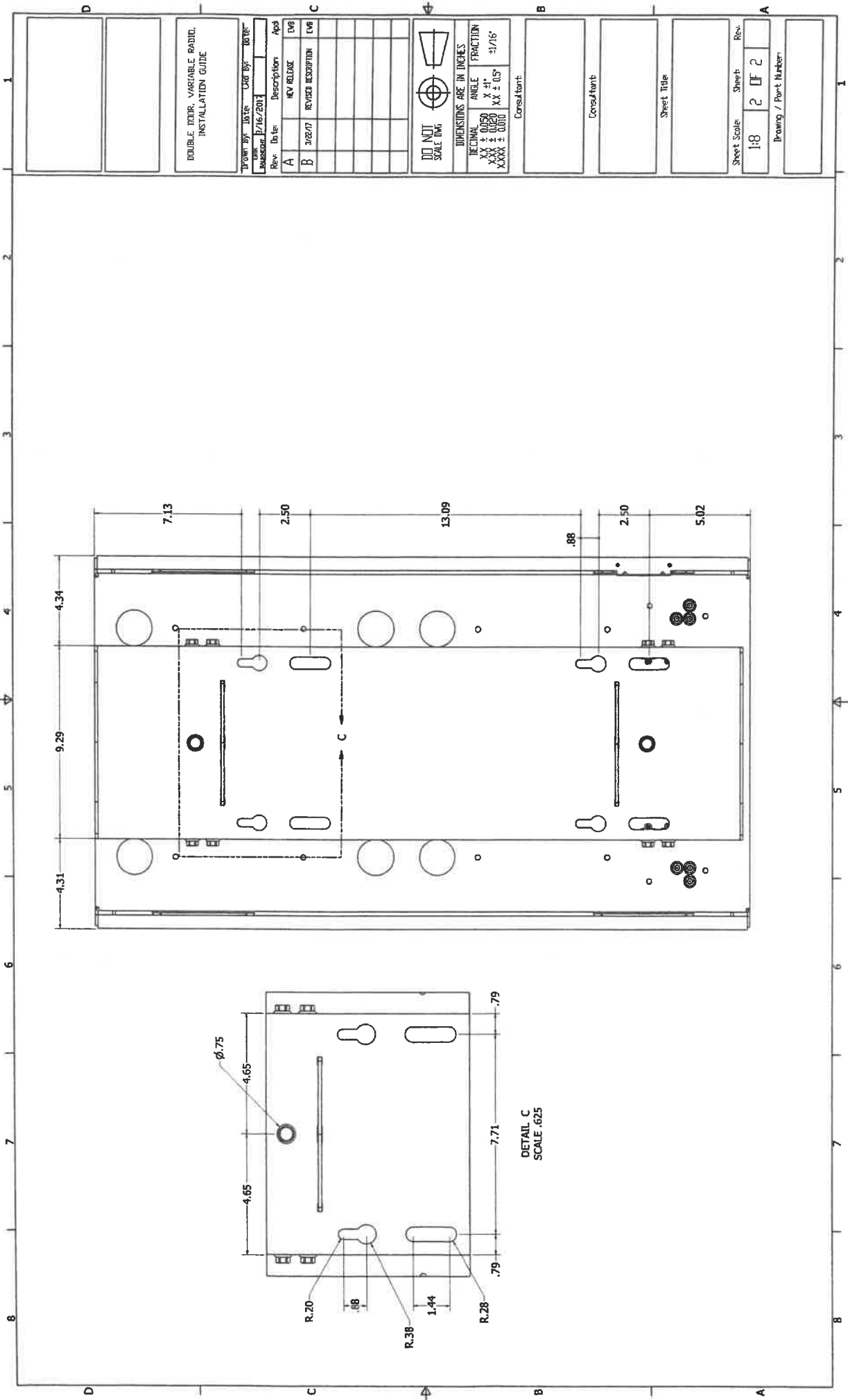


- 2x 2203, 1x mRRUS12, Fiber termination box, twin-diplexer



- Additional feature: mounting provision for AC distribution box





DOUBLE DOOR, VARIABLE RADIUS,
INSTALLATION GUIDE

Drawn By:	Date:	Check By:	Date:
Lauscar	2/16/2011		
Rev:	Date:	Description:	App:
A		REV RELEASE	EVB
B	3/28/17	REVISED DESCRIPTION	EVB

DO NOT SCALE THIS

DIMENSIONS ARE IN INCHES

DECIMAL	ANGLE	FRACTION
XX ± 0.050	X ° ±'	1/16"
XXX ± 0.020	XX ± 0.5°	
XXXX ± 0.010	XXX ± 0.010	

Consultant:

Consultant:

Sheet Title:

Sheet Scale: 1:8

Sheet: 2

Rev: 2

Drawing / Part Number:

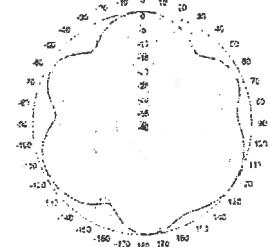
DETAIL C
SCALE .625

10" x 24" Outdoor Pseudo Omni Canister Antenna [1695-2400, 3550-3700 and 5150-5950 MHz]

EXTENT™ P6480i

Description:

- Pseudo Omni Canister Antenna for Outdoor DAS and Small Cells.
- 4x ports for AWS/PCS/WCS Band 1695-2400 MHz
- 4x ports for CBRS Band 3550-3700 MHz
- 2x ports for 5GHz Band 5150-5950 MHz



1695-2400, 3550-3700 and 5150-5950 MHz Pseudo Omni Canister Antenna

Electrical Specifications

Frequency Band [MHz]	1695-2180	2180-2400	3550-3700	5150-5950
Input Connector Type	4x 4.3-10 DIN(F)		4x 4.3-10 DIN(F)	2x 4.3-10 DIN(F)
Isolation (typ.)	-20 dB		-25 dB	-25 dB
Inter-band Isolation	-30 dB (typ)		-30 dB (typ)	-30 dB (typ)
VSWR/Return Loss	1.5:1(Typ.) 1.7:1(Max.) / 14.0 dB(Typ.) 11.8dB(Max.)			
Impedance	50 Ω			
Polarization	Dual slant 45° (±45°)			
Horizontal Beamwidth	Omni (360°)			
Vertical Beamwidth	15°	12°	15°	19°
Max. Gain	9 dBi	9.5 dBi	8.5 dBi	6 dBi(Max.)
Avg. Gain	7.5 dBi	8 dBi	8 dBi	3 dBi
Downtilt	0°			
Max Power / Port	150 Watts		100 Watts	10 Watts
PIM @ 2x43 dBm	<-153 dBc		N/A	N/A

Mechanical Specifications

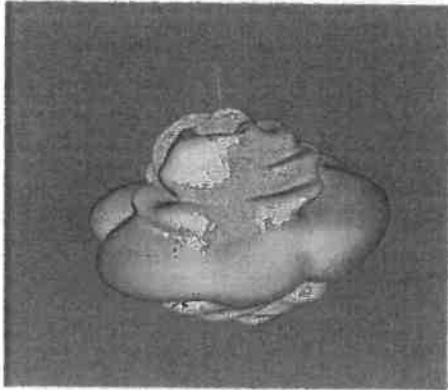
Operating Temperature	-40° to 158°F (-40° to +70°C)
Antenna Weight	19 lbs (9 kg)
Antenna Diameter	10" (254 mm)
Antenna Height	24.7" (628 mm)
Radome Material	ASA
RoHS	Compliant
Radome Color	Gray, Brown, 3M™ Conceal Film, Custom Colors Possible
Ingress Protection	Outdoor (IP65)
Wind Survival Rating	150 mph (241 km/h)
Shipping Dimensions - L x W x D	30"x19"x19" (762x483x483 mm)
Shipping Weight (Gross Weight)	26 lbs (12 kg)

Release Date: March 02, 2017; Revision: S-1 : RFD#6480

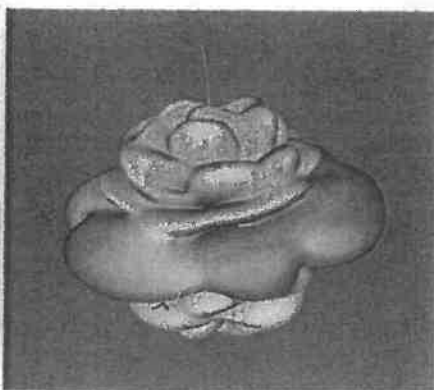


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A DAYLIN TECHNOLOGIES COMPANY

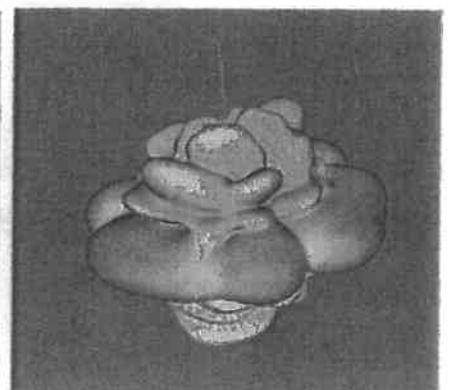
3D Antenna Patterns



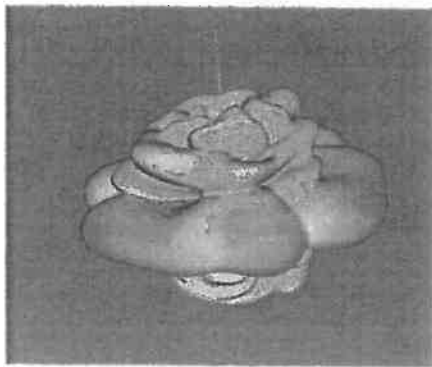
1730MHz



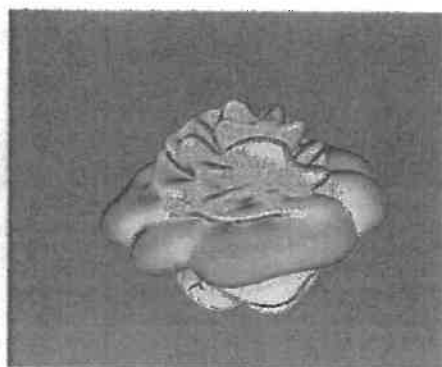
1930MHz



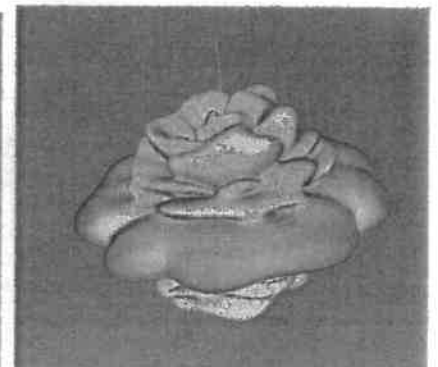
2130MHz



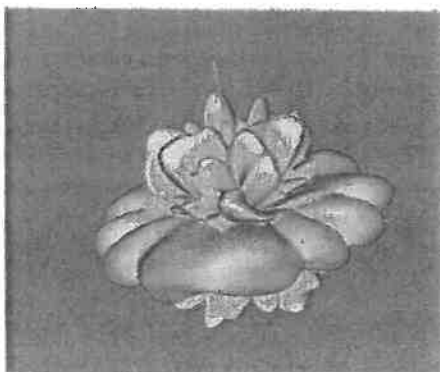
2170MHz



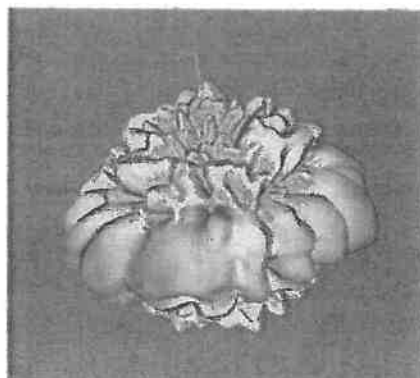
2320MHz



2355MHz



3650MHz



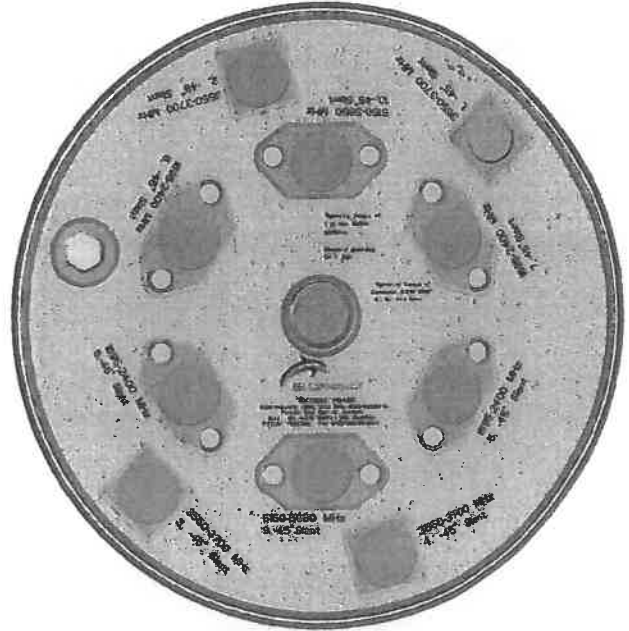
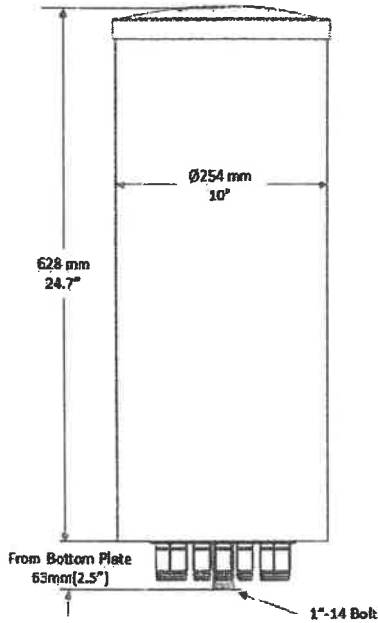
5250MHz

Release Date: March 02, 2017; Revision: 5-1 : RFD#6480





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Additional Technical Information

Mechanical Dimensions



Part Numbers, Ordering Options and Accessories

Description:	Part Number:
Antenna with 10x 4.3-10 DIN (F) Connectors, Gray	04127265-06480-1
Antenna with 10x 4.3-10 DIN (F) Connectors, Brown	04127265-06480-6
Antenna with 10x 4.3-10 DIN (F) Connectors, Chrome (3M™ Conceal Film)	04127265-06480-C
Mounting Bracket(s):	Part Number:
Pole Side Mounting Bracket (wind speed of 150 mph) Offers easy pole side installation.	 62-50-09
Pole Top Mounting Bracket (wind speed of 150 mph) Bracket base attached directly to wood, metal and cement poles.	 62-20-09
1" Mount Rod Adapter (wind speed of 150 mph) Universal interface for pole top installation.	 62-57-09 

Matting Male Connector Torque:
4.3-10: 3.7 ft-lb (5 Nm)

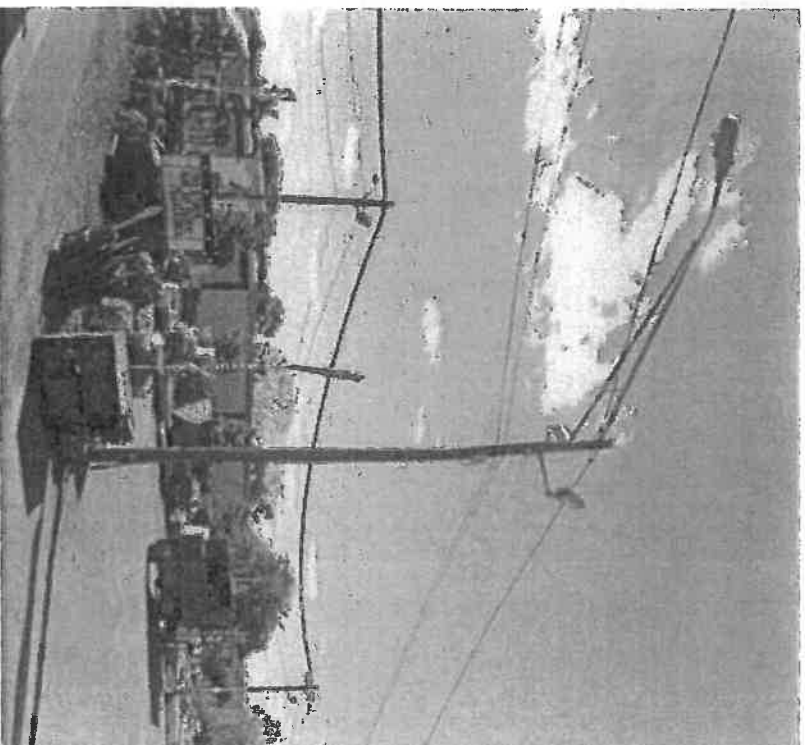
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Node: Area4_0033

Address: 250 Highland Ave, Salem, MA

**Target Site: Wood pole #1541-1 with street light and two
flood lights - Pole at entrance to Back Yard Depot**

Coordinates: 42.504145, -70.922575



Node: Area4_0033 Map

Address: 250 Highland Ave, Salem, MA

Target Site: Wood pole #1541-1 with street light and two flood lights - Pole at entrance to Back Yard Depot

Coordinates: 42.504145, -70.922575



ORDER FOR LOCATION FOR TELECOMMUNICATIONS WIRES AND WIRELESS ATTACHMENTS AND APPURTENANCES

By the City Council

31 Symonds St.

Of the City of Salem, Massachusetts, _____, 2017

ORDERED:

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3. AT&T shall comply with the requirements of existing City Ordinances, as may be applicable and such as may hereafter be adopted governing the construction and maintenance of said telecommunications wires and wireless attachments and appurtenances, so far as the same are not inconsistent with the laws of the United States or of the Commonwealth of Massachusetts.

I hereby certify that the foregoing was adopted at a meeting of the City Council of the City of Salem, Massachusetts, held on the _____ day of _____, 2017.

City Clerk

APPROVED

We hereby certify that on _____, 2017, at _____, o'clock at _____, a public hearing was held on the Petition of NEW CINGULAR WIRELESS PCS, LLC ("AT&T") for permission to construct and maintain telecommunications wires and wireless attachments and appurtenances, including fiber optic cable(s), remote nodes and pole top antennas, to be attached to existing utility poles, located upon, along and under the public ways within the City of Salem and to install conduit or direct bury fiber cable(s) as indicated in the plans described in the order herewith recorded, that we mailed at least seven days before said hearing a written notice of the time and place of said hearing to each of the owners of real estate (as determined by the last preceding assessment for taxation) along the ways or parts of ways upon which the Company is permitted to construct the telecommunications wires and appurtenances of AT&T under said order, and that thereupon said order was duly adopted.

City Council of the City of Salem

CERTIFICATE

I hereby certify that the forgoing is a true copy of a grant of location order and certificate of hearing with notice adopted by the City Council of the City of Salem, Massachusetts, on the _____ day of _____, 2017, and recorded with records of location orders of said City, Book _____, Page _____. This certified copy is made under the provisions of Chapter 166 of the Massachusetts General Laws, as amended.

Attest:

City Clerk

Curved Shroud

Technical Product Description



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DESCRIPTION

The Curved Shroud is a pole mounted radio concealment. Its compact rounded shape design and variable powder coat finishes blends with surrounding infrastructure.

TECHNICAL SPECIFICATION

COMPLIANCE

Telcordia GR-487-CORE:

Exposure to High-Temperature

Environmental Induced Vibration

Seismic Test

Transportation Vibration (for configuration with up to 4x 2203 radios)

MECHANICAL

Width x Depth x Height:

18" x 12" x 32"

Weight:

70 lbs. (enclosure only)

Internal Volume:

3.8 cu. ft.

MOUNTING

Pole Mounting:

Wood/Steel (6" offset available) metal banding or thru bolt

FINISH

Variable Powder Coat Finishes

GROUNDING

Isolated ground bar with ¼-in stud, 5/8 ctr-ctr, copper ground bar

CABLE ENTRY

6 cable egress/ingress knock-out

OPTIONAL EQUIPMENT CONFIGURATIONS

Up to 4x Ericsson 2203

Up to 2x 2203 and 1x mRRUS12

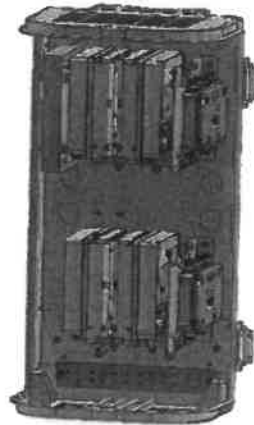
Integrated bracket for up to 2x twin-diplexer

Integrated bracket for outdoor rated fiber termination box

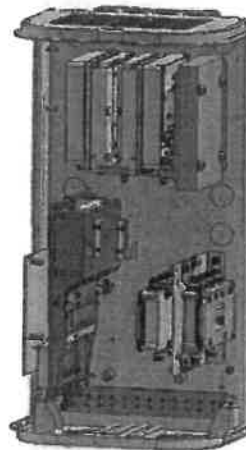


ENCLOSURE CONFIGURATIONS

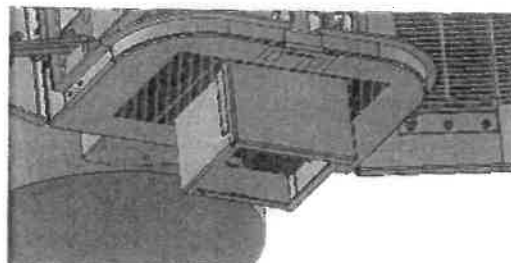
- 4x 2203, 2x twin-diplexer, 1x Fiber termination box



- 2x 2203, 1x mRRUS12, Fiber termination box, twin-diplexer



- Additional feature: mounting provision for AC distribution box

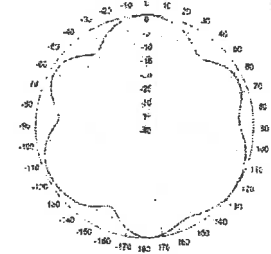


10" x 24" Outdoor Pseudo Omni Canister Antenna [1695-2400, 3550-3700 and 5150-5950 MHz]

EXTENT™ P6480i

Description:

- Pseudo Omni Canister Antenna for Outdoor DAS and Small Cells.
- 4x ports for AWS/PCS/WCS Band 1695-2400 MHz
- 4x ports for CBRS Band 3550-3700 MHz
- 2x ports for 5GHz Band 5150-5950 MHz



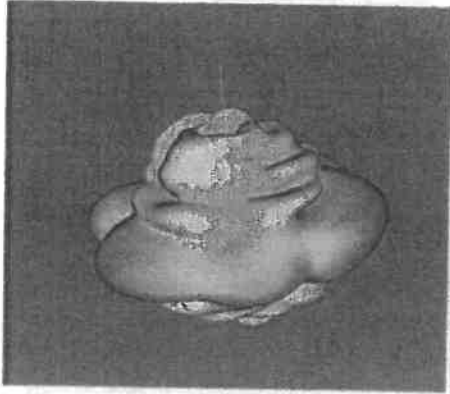
1695-2400, 3550-3700 and 5150-5950 MHz Pseudo Omni Canister Antenna

Electrical Specifications				
Frequency Band [MHz]	1695-2180	2180-2400	3550-3700	5150-5950
Input Connector Type	4x 4.3-10 DIN(F)		4x 4.3-10 DIN(F)	2x 4.3-10 DIN(F)
Isolation (typ.)	-20 dB		-25 dB	-25 dB
Inter-band Isolation	-30 dB (typ)		-30 dB (typ)	-30 dB (typ)
VSWR/Return Loss	1.5:1(Typ.) 1.7:1(Max.) / 14.0 dB(Typ.) 11.8dB(Max.)			
Impedance	50 Ω			
Polarization	Dual slant 45° (±45°)			
Horizontal Beamwidth	Omni (360°)			
Vertical Beamwidth	15°	12°	15°	19°
Max. Gain	9 dBi	9.5 dBi	8.5 dBi	6 dBi(Max.)
Avg. Gain	7.5 dBi	8 dBi	8 dBi	3 dBi
Downtilt	0°			
Max Power / Port	150 Watts		100 Watts	10 Watts
PIM @ 2x43 dBm	<-153 dBc		N/A	N/A

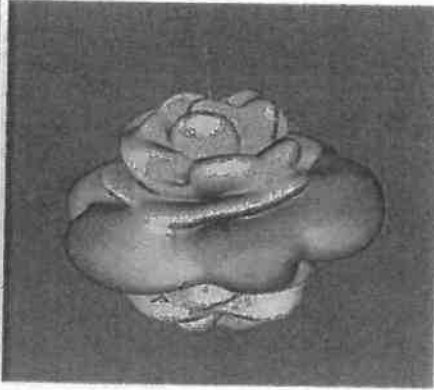
Mechanical Specifications	
Operating Temperature	-40° to 158°F (-40° to +70°C)
Antenna Weight	19 lbs (9 kg)
Antenna Diameter	10" (254 mm)
Antenna Height	24.7" (628 mm)
Radome Material	ASA
RoHS	Compliant
Radome Color	Gray, Brown, 3M™ Conceal Film, Custom Colors Possible
Ingress Protection	Outdoor (IP65)
Wind Survival Rating	150 mph (241 km/h)
Shipping Dimensions - L x W x D	30"x19"x19" (762x483x483 mm)
Shipping Weight (Gross Weight)	26 lbs (12 kg)

Release Date: March 02, 2017; Revision: S-1 : RFD#6480

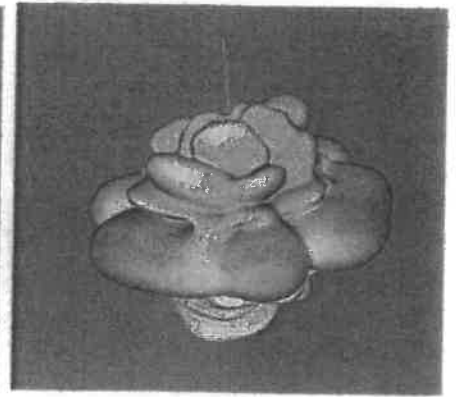
3D Antenna Patterns



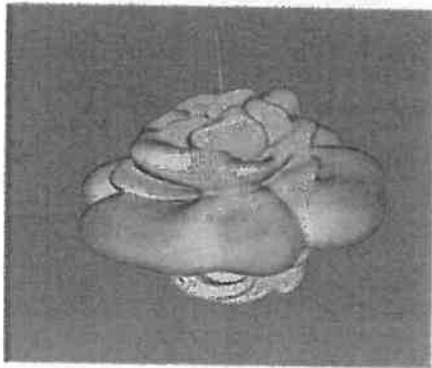
1730MHz



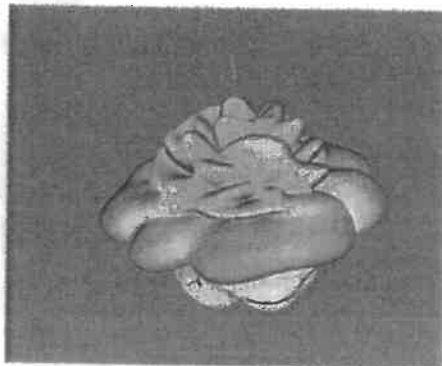
1930MHz



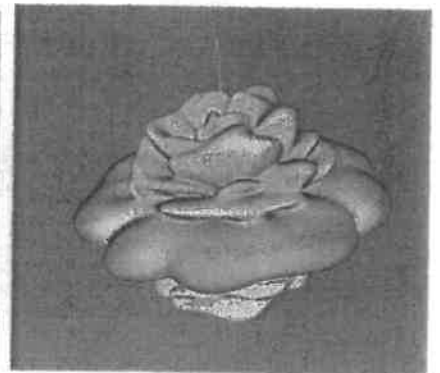
2130MHz



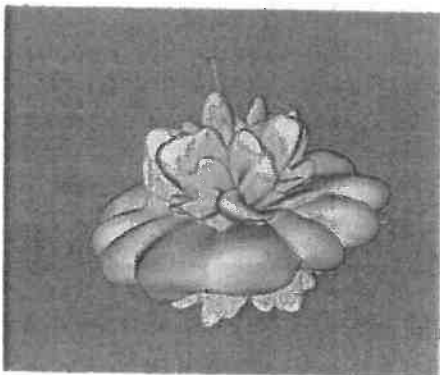
2170MHz



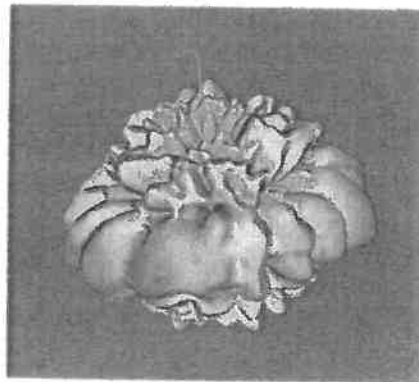
2320MHz



2355MHz



3650MHz



5250MHz

Release Date: March 02, 2017; Revision: S-1 : RFD#6480

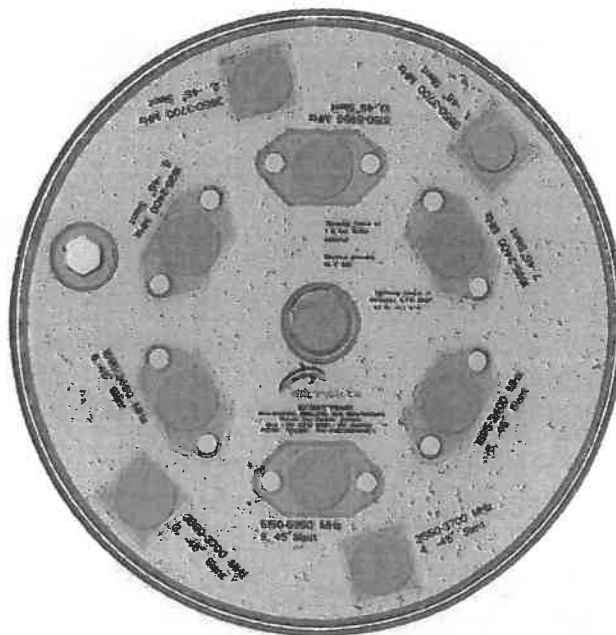
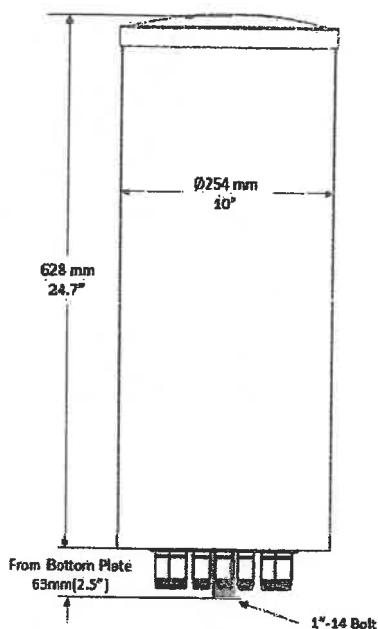




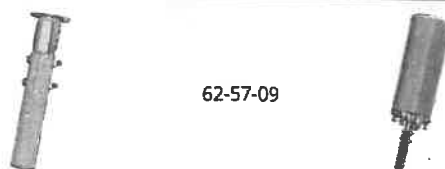
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A BAYLIN TECHNOLOGIES COMPANY

Additional Technical Information

Mechanical Dimensions



Part Numbers, Ordering Options and Accessories	
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Antenna with 10x 4.3-10 DIN (F) Connectors, Chrome (3M™ Conceal Film)	04127265-06480-C
Mounting Bracket(s):	Part Number:
Pole Side Mounting Bracket (wind speed of 150 mph) Offers easy pole side installation.	 62-50-09
Pole Top Mounting Bracket (wind speed of 150 mph) Bracket base attached directly to wood, metal and cement poles.	 62-20-09
1" Mount Rod Adapter (wind speed of 150 mph) Universal interface for pole top installation.	 62-57-09

Matting Male Connector Torque:
4.3-10: 3.7 ft-lb (5 Nm)

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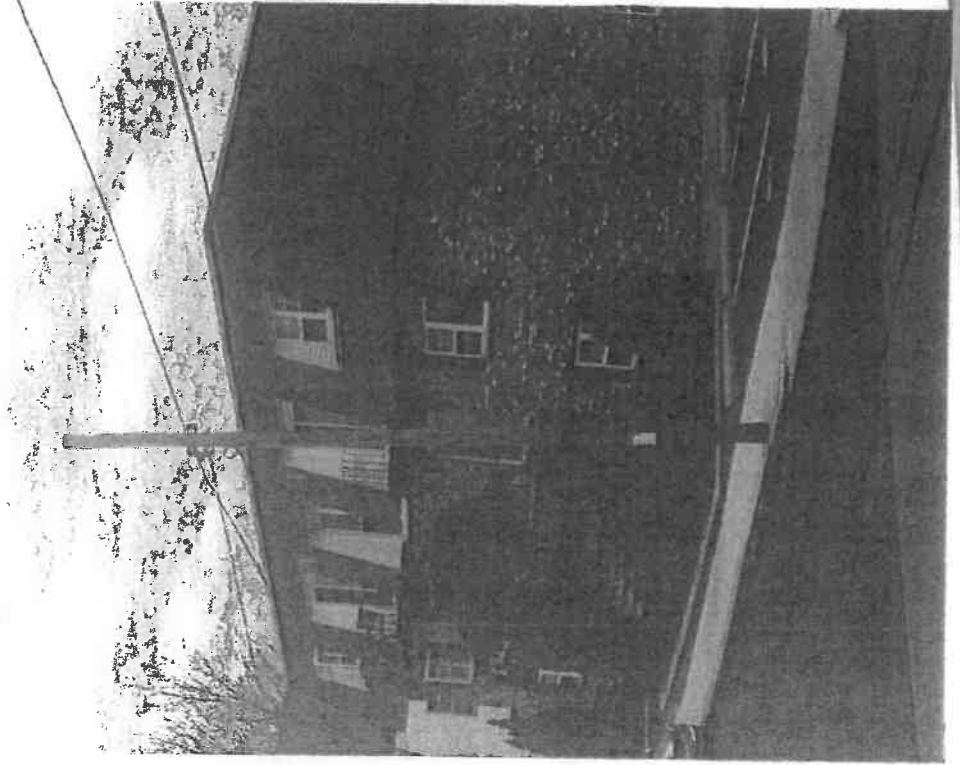
Code: Area4_0092

Address: 31 Symonds St, Salem, MA

Target Site: Wood pole #143/11/1620 @ The Balcom at

1 apt building corner of Simmon & Balcom

Coordinates: 42.527972, -70.908787



Code: Area4_0092 Map
Address: 31 Symonds St, Salem, MA
Target Site: Wood pole #143/11/1620 @ The Balcom at
L apt building corner of Simmon & Balcom
Coordinates: 42.527972, -70.908787



ORDER FOR LOCATION FOR TELECOMMUNICATIONS WIRES AND WIRELESS ATTACHMENTS AND APPURTENANCES

By the City Council

Of the City of Salem, Massachusetts, _____, 2017

*27 Liberty
Hill Ave*

ORDERED:

That pursuant to Massachusetts General Laws, Chapter 166, NEW CINGULAR WIRELESS PCS, LLC ("AT&T") is hereby granted locations for and permission to construct and maintain telecommunications wires and wireless attachments and appurtenances, including fiber optic cable(s), remote nodes and pole top antennas, to be attached to existing National Grid utility poles, located upon, along and under the public ways within the City of Salem, as substantially shown on the plans filed with said Petition. In addition, AT&T is hereby granted permission to install conduit or direct bury fiber cable(s) as depicted on the plans submitted.

The forgoing permission is subject to the following conditions:

1. The telecommunications wires and wireless attachments and appurtenances shall installed and operated in compliance with all applicable federal and state laws and regulations.
2. AT&T shall indemnify and save the City harmless against all damages, costs and expense whatsoever to which the City may be subjected in consequence of the acts or neglect of AT&T or its agents or servants, or in any manner arising from the rights and privileges granted by the City.
3. AT&T shall comply with the requirements of existing City Ordinances, as may be applicable and such as may hereafter be adopted governing the construction and maintenance of said telecommunications wires and wireless attachments and appurtenances, so far as the same are not inconsistent with the laws of the United States or of the Commonwealth of Massachusetts.

I hereby certify that the foregoing was adopted at a meeting of the City Council of the City of Salem, Massachusetts, held on the _____ day of _____, 2017.

City Clerk

APPROVED

We hereby certify that on _____, 2017, at _____, o'clock at _____, a public hearing was held on the Petition of NEW CINGULAR WIRELESS PCS, LLC ("AT&T") for permission to construct and maintain telecommunications wires and wireless attachments and appurtenances, including fiber optic cable(s), remote nodes and pole top antennas, to be attached to existing utility poles, located upon, along and under the public ways within the City of Salem and to install conduit or direct bury fiber cable(s) as indicated in the plans described in the order herewith recorded, that we mailed at least seven days before said hearing a written notice of the time and place of said hearing to each of the owners of real estate (as determined by the last preceding assessment for taxation) along the ways or parts of ways upon which the Company is permitted to construct the telecommunications wires and appurtenances of AT&T under said order, and that thereupon said order was duly adopted.

City Council of the City of Salem

CERTIFICATE

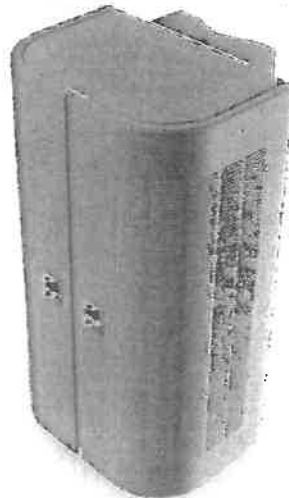
I hereby certify that the forgoing is a true copy of a grant of location order and certificate of hearing with notice adopted by the City Council of the City of Salem, Massachusetts, on the _____ day of _____, 2017, and recorded with records of location orders of said City, Book _____, Page _____. This certified copy is made under the provisions of Chapter 166 of the Massachusetts General Laws, as amended.

Attest:

City Clerk

Curved Shroud

Technical Product Description



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Disclaimer

The contents of this document are subject to revision without notice due to continued progress in methodology, design, and manufacturing. Ericsson shall have no liability for any error or damage of any kind resulting from the use of this document.



DESCRIPTION

The Curved Shroud is a pole mounted radio concealment. Its compact rounded shape design and variable powder coat finishes blends with surrounding infrastructure.

TECHNICAL SPECIFICATION

COMPLIANCE

Telcordia GR-487-CORE:

Exposure to High-Temperature

Environmental Induced Vibration

Seismic Test

Transportation Vibration (for configuration with up to 4x 2203 radios)

MECHANICAL

Width x Depth x Height:

18" x 12" x 32"

Weight:

70 lbs. (enclosure only)

Internal Volume:

3.8 cu. ft.

MOUNTING

Pole Mounting:

Wood/Steel (6" offset available) metal banding or thru bolt

FINISH

Variable Powder Coat Finishes

GROUNDING

Isolated ground bar with ¼-in stud, 5/8 ctr-ctr, copper ground bar

CABLE ENTRY

6 cable egress/ingress knock-out

OPTIONAL EQUIPMENT CONFIGURATIONS

Up to 4x Ericsson 2203

Up to 2x 2203 and 1x mRRUS12

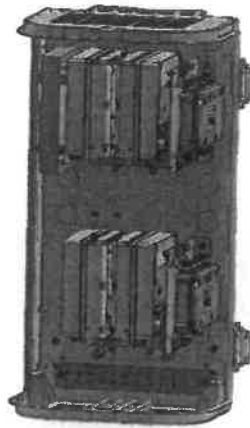
Integrated bracket for up to 2x twin-diplexer

Integrated bracket for outdoor rated fiber termination box

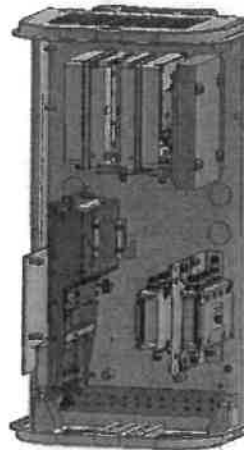


ENCLOSURE CONFIGURATIONS

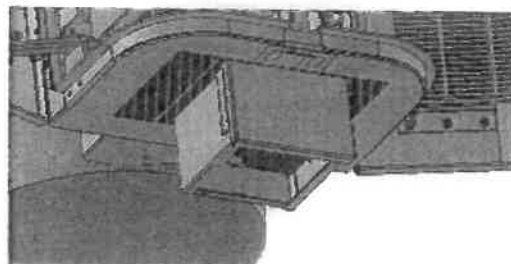
- 4x 2203, 2x twin-diplexer, 1x Fiber termination box



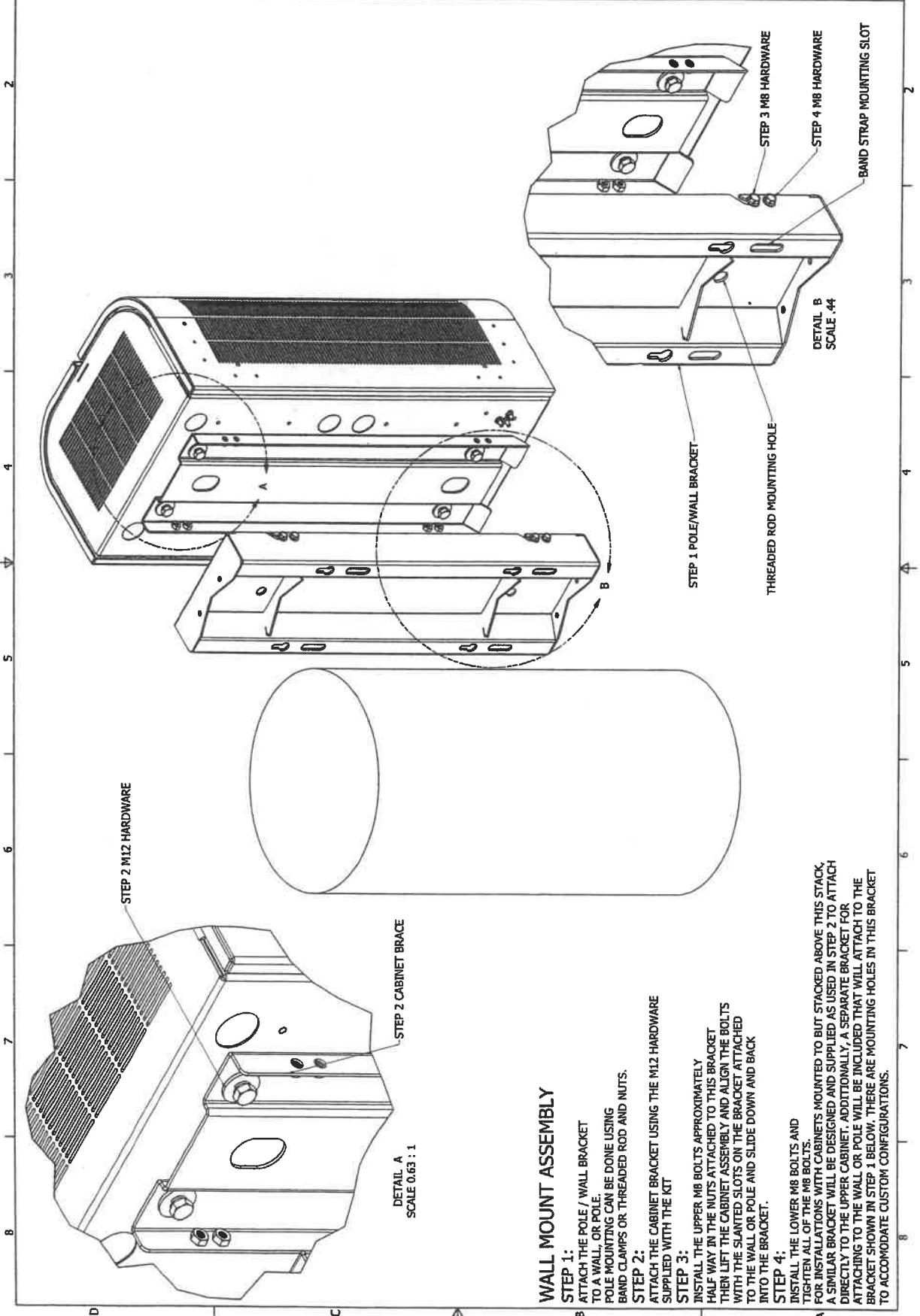
- 2x 2203, 1x mRRUS12, Fiber termination box, twin-diplexer



- Additional feature: mounting provision for AC distribution box



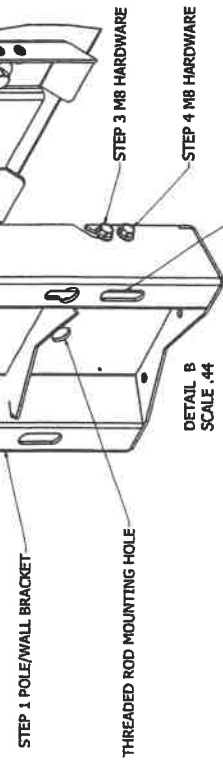
Project		DOUBLE POLE, VARIABLE RADIO, INSTALLATION GUIDE		DRAWN BY: JG/RS LGD BY: JG/RS CHECKED BY: JG/RS DATE: 1/15/2011 Rev: Date: App:		 DIMENSIONS ARE IN INCHES DECIMAL FRACTION .XX ± 0.050 X 3/16" .XXX ± 0.063 XX ± 0.5" .XXXX ± 0.010 XX ± 0.5"	
Consultant:		Consultant:		Consultant:		Consultant:	
Sheet Scale:		Sheet Number:		Drawing / Part Number:		Rev:	
1:8		1 OF 2					



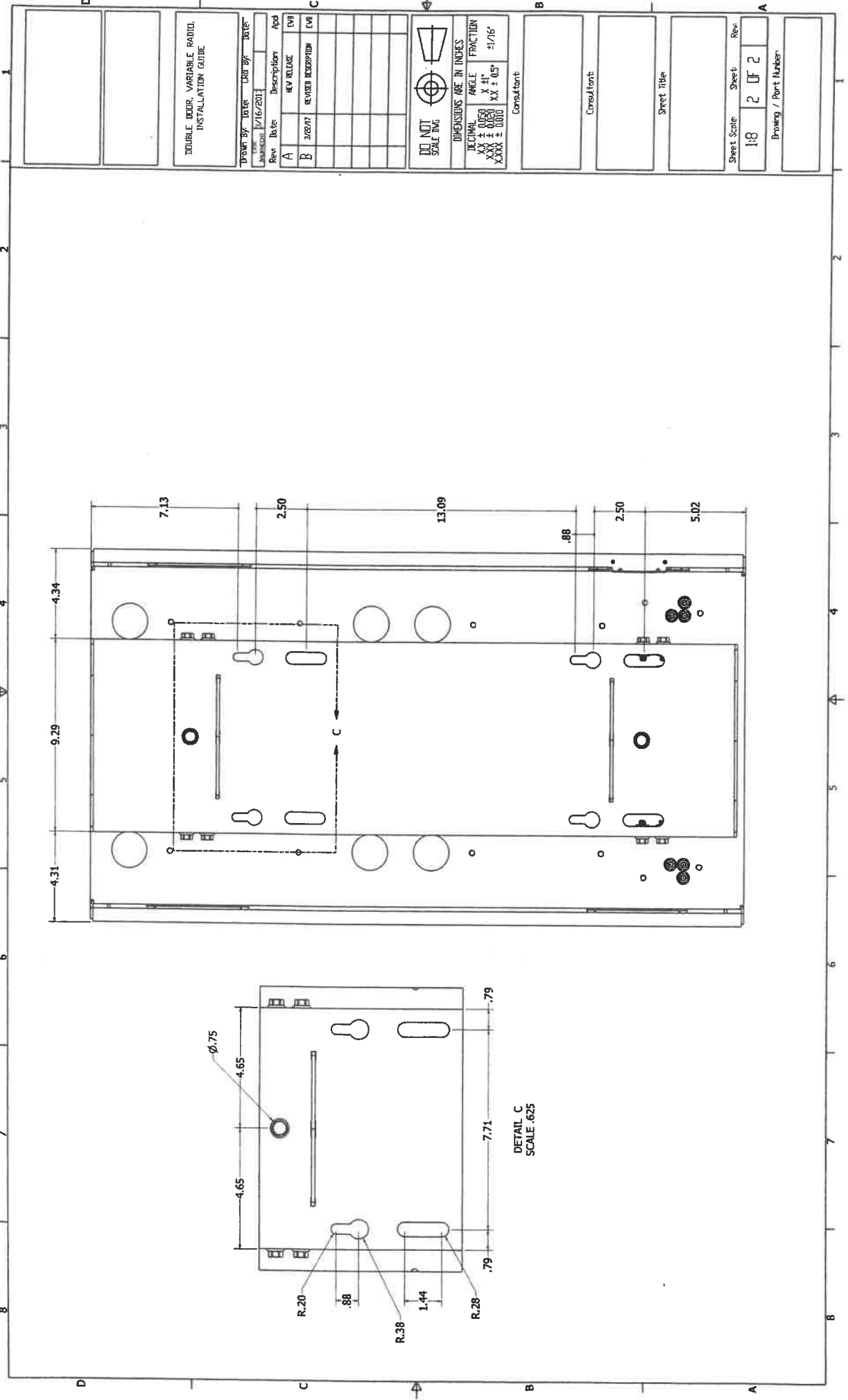
WALL MOUNT ASSEMBLY

- STEP 1:** ATTACH THE POLE / WALL BRACKET TO A WALL, OR POLE. POLE MOUNTING CAN BE DONE USING BAND CLAMPS OR THREADED ROD AND NUTS.
- STEP 2:** ATTACH THE CABINET BRACKET USING THE M12 HARDWARE SUPPLIED WITH THE KIT
- STEP 3:** INSTALL THE UPPER M8 BOLTS APPROXIMATELY HALF WAY IN THE NUTS ATTACHED TO THIS BRACKET THEN LIFT THE CABINET ASSEMBLY AND ALIGN THE BOLTS WITH THE SLANTED SLOTS ON THE BRACKET ATTACHED TO THE WALL OR POLE AND SLIDE DOWN AND BACK INTO THE BRACKET.
- STEP 4:** INSTALL THE LOWER M8 BOLTS, AND TIGHTEN ALL OF THE M8 BOLTS. FOR INSTALLATIONS WITH CABINETS MOUNTED TO BUT STACKED ABOVE THIS STACK, A SIMILAR BRACKET WILL BE DESIGNED AND SUPPLIED AS USED IN STEP 2 TO ATTACH DIRECTLY TO THE UPPER CABINET. ADDITIONALLY, A SEPARATE BRACKET FOR ATTACHING TO THE WALL OR POLE WILL BE INCLUDED THAT WILL ATTACH TO THE BRACKET SHOWN IN STEP 1 BELOW. THERE ARE MOUNTING HOLES IN THIS BRACKET TO ACCOMMODATE CUSTOM CONFIGURATIONS.

DETAIL A
SCALE 0.63 : 1



DETAIL B
SCALE .44



DOUBLE DOOR, VARIABLE RADIO,
INSTALLATION GUIDE

DRAWN BY: DAVE CARBY DATE: 1/16/201

Rev	Date	Description	App'd
A		NEW RELEASE	DVR
B	3/22/17	REVISED DESCRIPTION	EMG

DO NOT SCALE THIS
DIMENSIONS ARE IN INCHES
DECIMAL ANGLE FRACTION
XXX ± 0.000 X ± 1"
XXXX ± 0.000 XX ± 0.5"
± 1/16

Consultant

Consultant

Consultant

Sheet Scale: 1:8
Sheet: 2 OF 2
Rev: 2

Drawing / Part Number

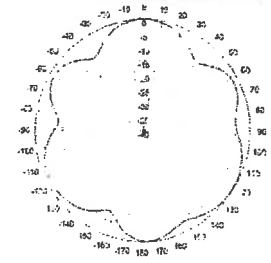
DETAIL C
SCALE .625

10" x 24" Outdoor Pseudo Omni Canister Antenna [1695-2400, 3550-3700 and 5150-5950 MHz]

EXTENT™ P6480i

Description:

- Pseudo Omni Canister Antenna for Outdoor DAS and Small Cells.
- 4x ports for AWS/PCS/WCS Band 1695-2400 MHz
- 4x ports for CBRS Band 3550-3700 MHz
- 2x ports for 5GHz Band 5150-5950 MHz



1695-2400, 3550-3700 and 5150-5950 MHz Pseudo Omni Canister Antenna

Electrical Specifications

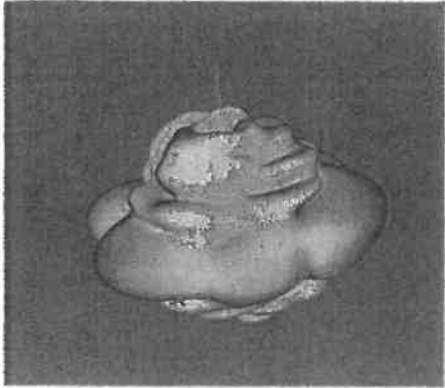
Frequency Band [MHz]	1695-2180	2180-2400	3550-3700	5150-5950
Input Connector Type	4x 4.3-10 DIN(F)		4x 4.3-10 DIN(F)	2x 4.3-10 DIN(F)
Isolation (typ.)	-20 dB		-25 dB	-25 dB
Inter-band Isolation	-30 dB (typ)		-30 dB (typ)	-30 dB (typ)
VSWR/Return Loss	1.5:1(Typ.) 1.7:1(Max.) / 14.0 dB(Typ.) 11.8dB(Max.)			
Impedance	50 Ω			
Polarization	Dual slant 45° (±45°)			
Horizontal Beamwidth	Omni (360°)			
Vertical Beamwidth	15°	12°	15°	19°
Max. Gain	9 dBi	9.5 dBi	8.5 dBi	6 dBi(Max.)
Avg. Gain	7.5 dBi	8 dBi	8 dBi	3 dBi
Downtilt	0°			
Max Power / Port	150 Watts		100 Watts	10 Watts
PIM @ 2x43 dBm	<-153 dBc		N/A	N/A

Mechanical Specifications

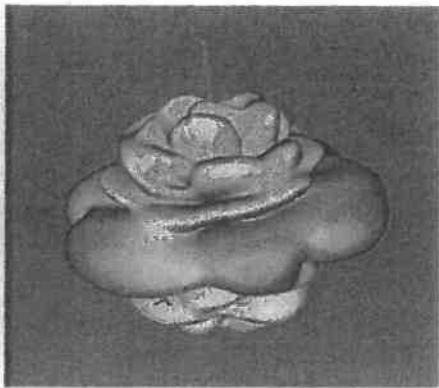
Operating Temperature	-40° to 158°F (-40° to +70°C)
Antenna Weight	19 lbs (9 kg)
Antenna Diameter	10" (254 mm)
Antenna Height	24.7" (628 mm)
Radome Material	ASA
RoHS	Compliant
Radome Color	Gray, Brown, 3M™ Conceal Film, Custom Colors Possible
Ingress Protection	Outdoor (IP65)
Wind Survival Rating	150 mph (241 km/h)
Shipping Dimensions - L x W x D	30"x19"x19" (762x483x483 mm)
Shipping Weight (Gross Weight)	26 lbs (12 kg)

Release Date: March 02, 2017; Revision: 5-1 : RFD#6480

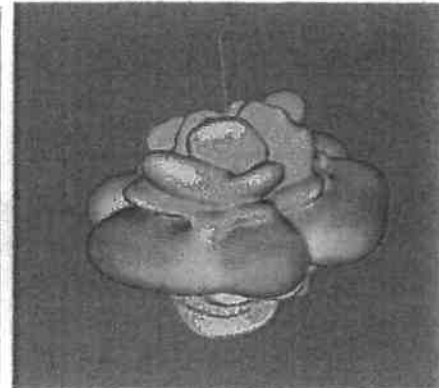
3D Antenna Patterns



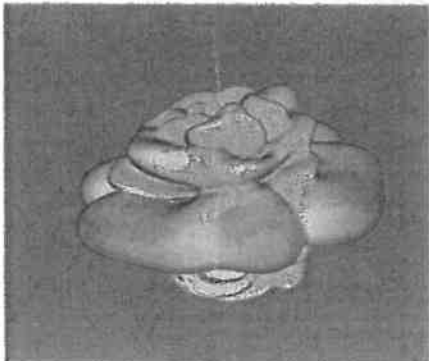
1730MHz



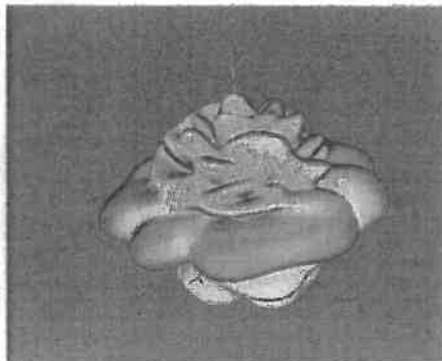
1930MHz



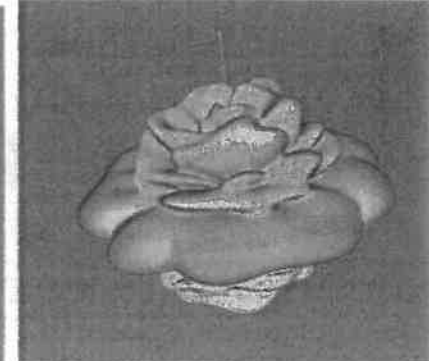
2130MHz



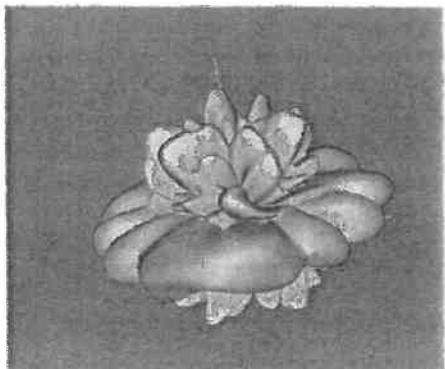
2170MHz



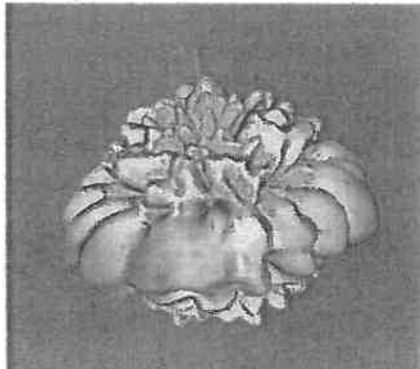
2320MHz



2355MHz



3650MHz



5250MHz

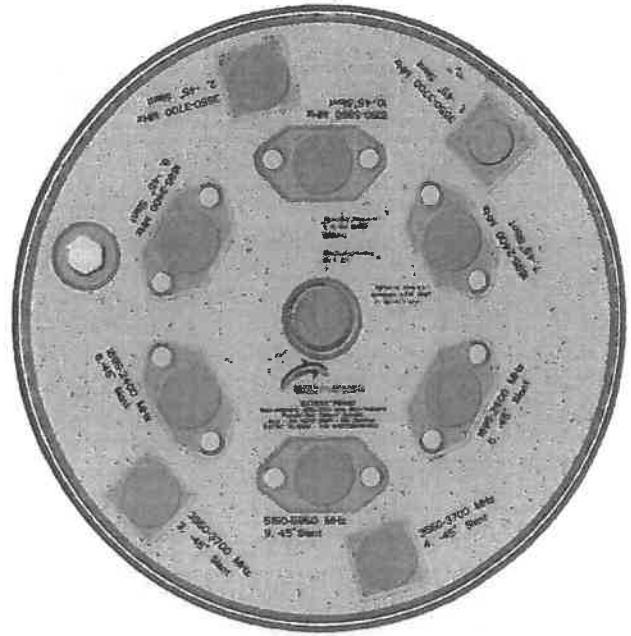
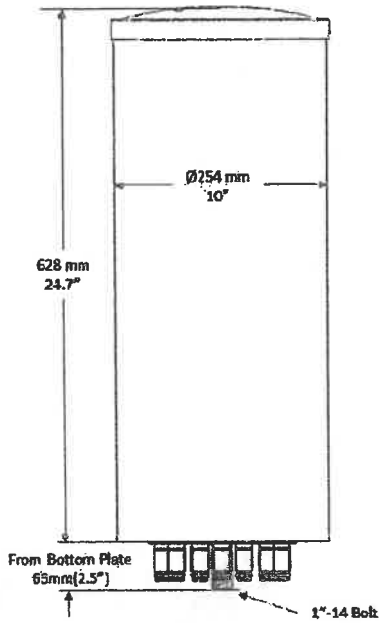
Release Date: March 02, 2017; Revision: S-1 : RFD#6480



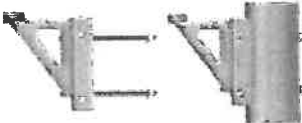



GALTRONICS
 WE'RE MAKING WAVES™
 A BAYLON TECHNOLOGIES COMPANY

Additional Technical Information

Mechanical Dimensions



Part Numbers, Ordering Options and Accessories

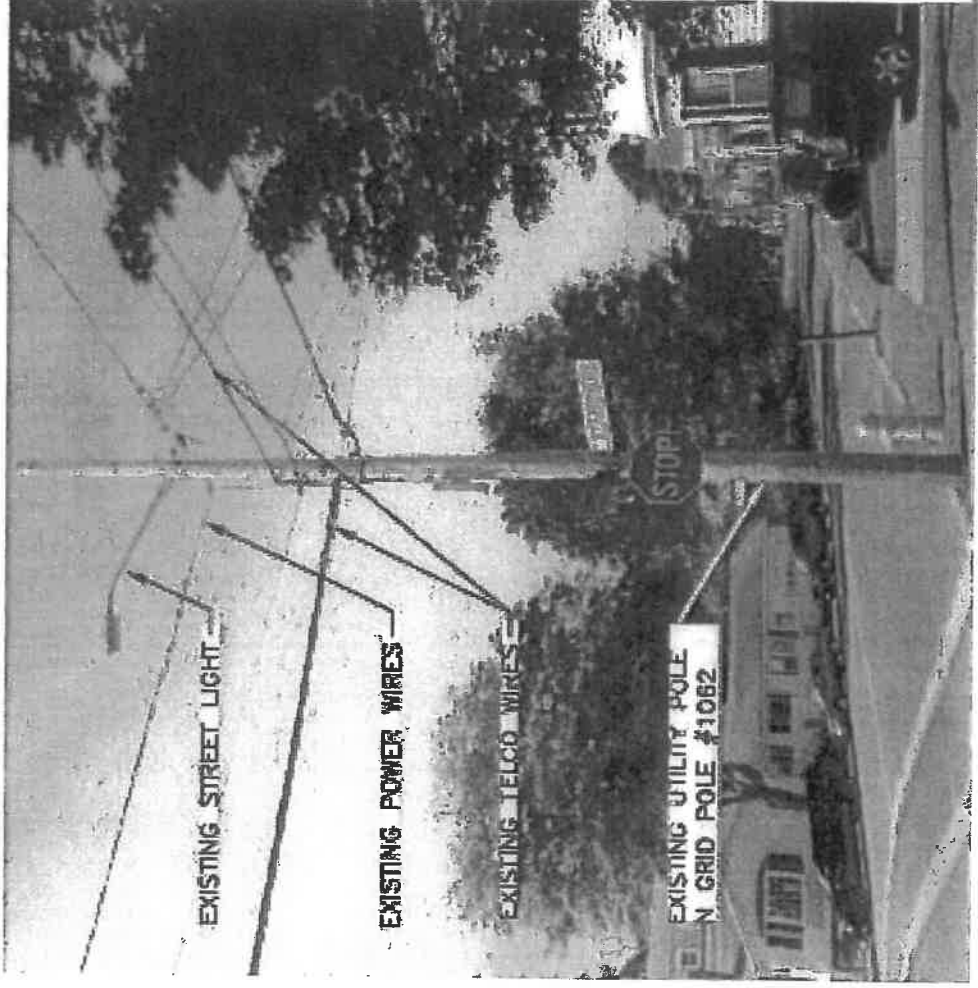
Description:	Part Number:
Antenna with 10x 4.3-10 DIN (F) Connectors, Gray	04127265-06480-1
Antenna with 10x 4.3-10 DIN (F) Connectors, Brown	04127265-06480-6
Antenna with 10x 4.3-10 DIN (F) Connectors, Chrome (3M™ Conceal Film)	04127265-06480-C
Mounting Bracket(s):	Part Number:
Pole Side Mounting Bracket (wind speed of 150 mph) Offers easy pole side installation.	 62-50-09
Pole Top Mounting Bracket (wind speed of 150 mph) Bracket base attached directly to wood, metal and cement poles.	 62-20-09
1" Mount Rod Adapter (wind speed of 150 mph) Universal interface for pole top installation.	 62-57-09 

Matting Male Connector Torque:
 4.3-10: 3.7 ft-lb (5 Nm)

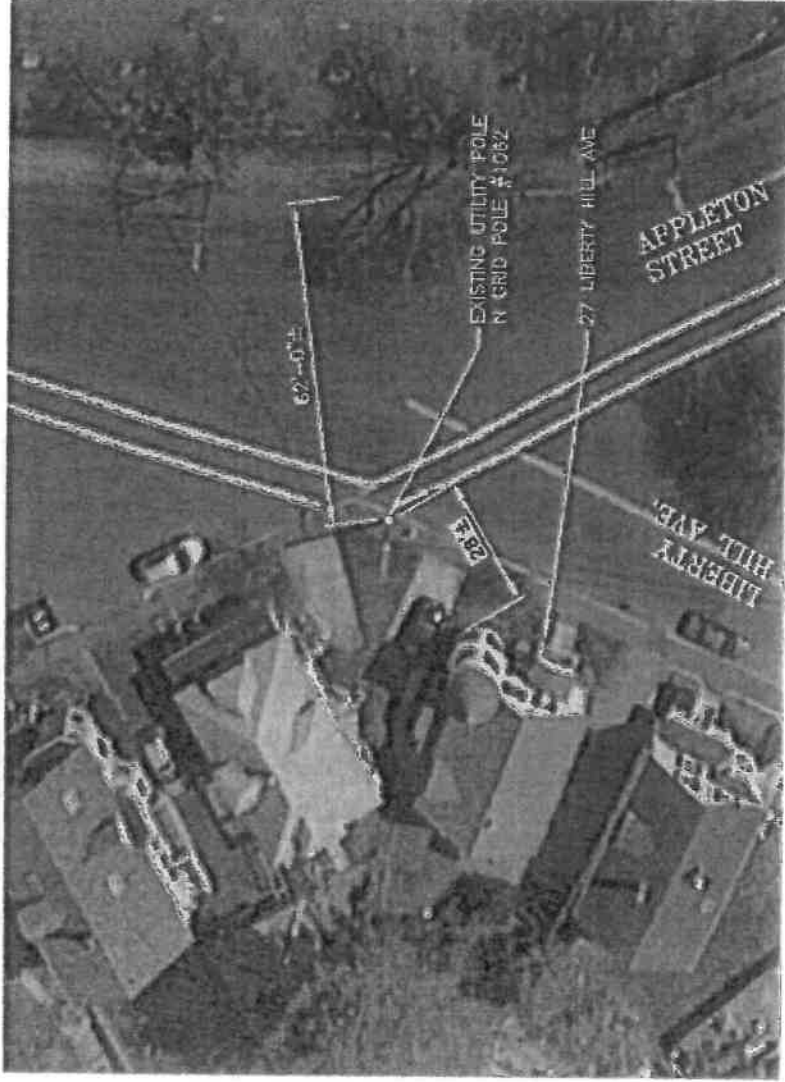
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Node: Area4_0157
Address: 27 Liberty Hill Ave, Salem, MA
Target Site: Utility pole #1062, corner of Liberty Hill & Appleton Street
Coordinates: 42.531426, -70.905586



Node: Area4_0157 Map
Address: 27 Liberty Hill Ave, Salem, MA
Target Site: Utility pole #1062, corner of Liberty Hill & Appleton Street
Coordinates: 42.531426, -70.905586





AT&T SITE ID: AREA4_0157A
27 LIBERTY HILL AVE
SALEM, MA 01970



530 COCHRANE ROAD
 FRAMINGHAM, MA 01701



18 SHAW DRIVE
 RAYMOND, MA 02787



100 WASHINGTON STREET
 SALEM, MA 01970



CHECKED BY: AT

APPROVED BY: DGC

SUBMITTALS	
REV.	DESCRIPTION

QUOTED AND MARK NUMBER
 AREA4_0157A

SITE ID:
 AREA4_0157A
 27 LIBERTY HILL AVE
 SALEM, MA 01970
 ESSEX COUNTY

SHEET FILE
 TITLE SHEET

SHEET NUMBER
 T-1

GENERAL NOTES

1. THIS DOCUMENT IS THE CREATOR, ESSEX PROPERTY AND CONNECTED WORK OF AT&T. ANY REPRODUCTION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. THIS DOCUMENT IS THE PROPERTY OF AT&T AND IS TO BE KEPT IN STRICTLY CONFIDENTIAL AND LEGALLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FRANCHISES IS SPECIFICALLY FORWARDED.
2. THE FACILITY IS AN UNMANNED PRIVATE AND SECURED AIRSPACE INSTALLATION. IT IS ONLY ACCESSIBLE BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND REPAIRS. DOES NOT ALLOW ANY VISITORS OR SERVICE. THE FACILITY IS NOT OPERATED BY REGULATIONS REQUIRING PUBLIC ACCESS PER FAA REQUIREMENTS.
3. ALL VISITORS MUST WEAR SAFETY VESTS AND HELMETS. VISITORS MUST BE TRAINED AND CERTAIN DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL BE RESPONSIBLE FOR THE WORK OR BE RESPONSIBLE FOR SAME. DISAPPEARANCES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.
4. CONSTRUCTION DRAWINGS ARE VALID FOR SIX MONTHS AFTER ENGINEER OF RECORD'S STAMPED AND SIGNED SUBMITTAL DATE LISTED HEREIN.

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL BE RESPONSIBLE FOR THE WORK OR BE RESPONSIBLE FOR SAME. DISAPPEARANCES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

CALL 811



VICINITY MAP (NOT TO SCALE)



DRIVING DIRECTIONS

FROM FRAMINGHAM, MA:
 DEPART LEFT OFF I-95 ON RAMP 2B TO TAKE RIGHT ONTO RT-114 / PHILLIPS ST. 0.1 MI. TURN RIGHT ONTO BRUSH ST. 0.4 MI. TURN RIGHT ONTO RT-30 / COCHRANE RD. 0.1 MI. TAKE RIGHT ONTO RT-114 / PHILLIPS ST. 0.4 MI. TURN RIGHT ONTO RT-114 / PHILLIPS ST. 0.1 MI. TURN RIGHT ONTO RT-114 / PHILLIPS ST. 0.1 MI. TURN LEFT TO STAY ON RT-114 / PHILLIPS ST. 0.1 MI. TURN RIGHT TO RIGHT ONTO APPLATION ST. 289 FT. ARRIVE AT SITE ON THE RIGHT.

SHEET INDEX

SHEET NO.	DESCRIPTION	REV.
T-1	TITLE SHEET	1
GH-1	GENERAL NOTES	1
A-1	KEY PLAN AND ELEVATION	1
A-2	EQUIPMENT DETAILS	1
E-1	ELECTRICAL & GROUNDING DETAILS	1

PROJECT SUMMARY

UTILITY POLE
 ADDRESS/LOCATION:
 COUNTY:
 LATITUDE:
 LONGITUDE:
 POLE ID:
 STRUCTURE TYPE:
 ARCHITECT/ENGINEER:

27 LIBERTY HILL AVE
 SALEM, MA 01970
 ESSEX
 42.531428 N
 70.905888 W
 #1082
 UNMANNED AIRCRAFT
 HUDSON DESIGN GROUP LLC
 45 BEAVERWOOD DRIVE
 N. ANDOVER, MA 01845



CHECKED BY: AT
 APPROVED BY: DAC

SUBMITTALS

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		ISSUED FOR CONSTRUCTION

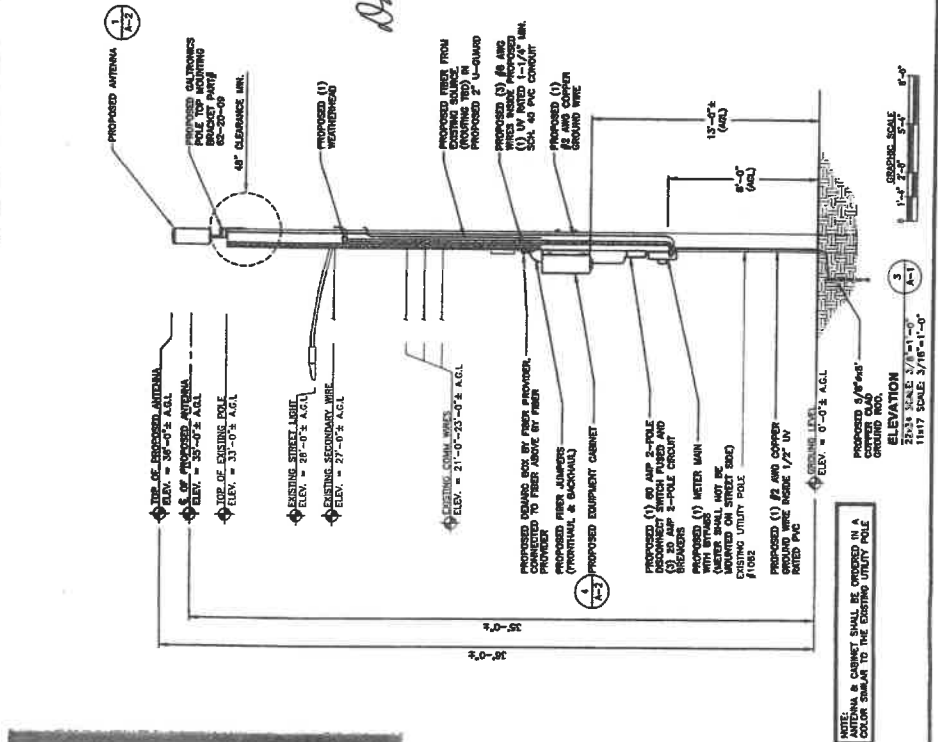
CLIENT AND WORK NUMBER:
 AREA4_0157A

SITE IN:
 AREA4_0157A
 27 LIBERTY HILL AVE
 SOUTH WINDSOR, CT 06090
 HESSEY COUNTY

KEY PLAN AND ELEVATION

SHEET NUMBER
A-1

APPROXIMATE COORDINATES:
 LAT: 42.531438° N
 LONG: 70.855867° W



KEY PLAN
 25x4 SCALE: 1"=20'
 11x17 SCALE: 1"=40'



EXISTING CONDITIONS PHOTO DETAIL
 SCALE: N.T.S.

NOTE: ANTENNA & WIRE SHALL BE ORIGINATED IN A COLUMN SUBJECT TO THE EXISTING UTILITY POLE

ELEVATION
 25x4 SCALE: 3/8"=1'-0"
 11x17 SCALE: 3/16"=1'-0"





50 COCHRAN ROAD
FRAMINGHAM, MA 01701



85 RYAN DRIVE
FRAMINGHAM, MA 02187



HUDSON
Design Group LLC
482 COCHRAN ROAD
FRAMINGHAM, MA 01701
TEL: 508 882-0000
FAX: 508 882-0000



CHECKED BY: AT
APPROVED BY: DAC

SUBMITTALS

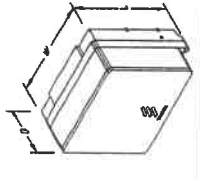
REV	DATE	DESCRIPTION	BY
1	11/20/13	ISSUE FOR PERMIT	AT
2	11/20/13	ISSUE FOR PERMIT	AT
3	11/20/13	ISSUE FOR PERMIT	AT

CUSTOMER AND PROJECT NUMBER:
AREA4_0157A

PROJECT IS:
AREA4_0157A
2. CABINET/FITEL ARE
CALCULATED FOR
ESSEX COUNTY

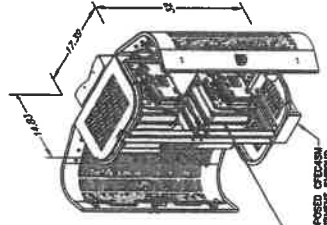
SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
A-2



MODEL	QTY	L	W	D	WGT.
2203	2	8.0"	8.0"	4.0"	11 LB
2205	1	8.0"	8.0"	4.0"	11 LB

RRH (2203/2205) DETAIL
SCALE: N.T.S.

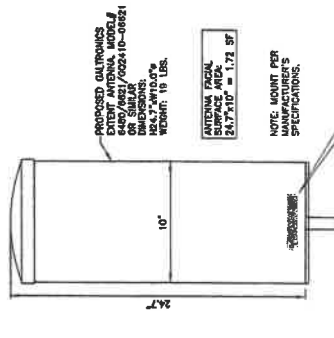


PROPOSED CRESTA
EQUIPMENT CABINET
(SUBMITTAL)
FACE: 18" x 18" x 12"
HEIGHT: 70 LB.

CABINET FACIL
SURFACE AREA
FACE: 18" x 18" x 12"
HEIGHT: 70 LB.

NO BATTERY BACKUP OR AUXILIARY OUTLETS
OR POWER ARE BEING PROVIDED
IN THIS DESIGN.

NOTE:
PER MANUFACTURER'S SPECIFICATIONS
EQUIPMENT CABINET DETAIL
SCALE: N.T.S.



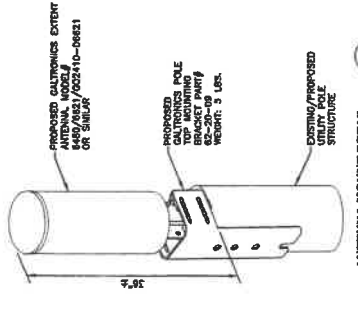
PROPOSED CALTRONICS
EXTENT ANTENNA, MODEL#
6449/8931/8932/8933
OR SIMILAR
DIMENSIONS:
HEIGHT: 10 LB.

ANTENNA FACIL
SURFACE AREA
FACE: 24.7\"/>

NOTE: MOUNT PER
MANUFACTURER'S
SPECIFICATIONS.

NOTICE
THIS ANTENNA IS TO BE MOUNTED TO THE
FRONT OF THE CABINET. THE ANTENNA
FACE IS TO BE MOUNTED TO THE FRONT OF
THE CABINET. THE ANTENNA IS TO BE
MOUNTED TO THE FRONT OF THE CABINET.
THE ANTENNA IS TO BE MOUNTED TO THE
FRONT OF THE CABINET.

ANTENNA DETAIL
SCALE: N.T.S.



PROPOSED CALTRONICS EXTENT
6449/8931/8932/8933
OR SIMILAR

PROPOSED
CABINET/FITEL
TOP MOUNTING
BRACKET PART#
HEIGHT: 3 LB.

EXISTING/PROPOSED
CABINET/FITEL
STRUCTURE

ANTENNA MOUNT DETAIL
SCALE: N.T.S.



CITY OF SALEM, MASSACHUSETTS

**Kimberley Driscoll
Mayor**

September 13, 2018

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I am very pleased to appoint Phillip T. Koch, of 21 Savoy Road, to the Sustainability, Energy, and Resiliency Committee, to complete the remainder of a three year term originally filled by Rev. Jeffrey Barz-Snell and to expire December 3, 2018. I hope you will join me in thanking Rev. Barz-Snell for his dedicated service to the committee and to our community.

Mr. Koch worked for his entire professional career in both the business and science side of a number of environmental engineering firms, including serving as the Director of Commercial Development for American EcoThermal, a senior scientist and Director of Business Development for MACTEC Engineering, a senior scientist and Director of International Business Development for Geraghty & Miller Environmental Engineers, and as a senior environmental scientist for Metcalf & Eddy Environmental Engineers. He received his BA in Government and his MS in Engineering and Environmental Systems from Harvard. Though retired now, Mr. Koch has been a member of the American Water Resources Association and the Environmental Business Council. Prior to moving to Salem he served on the Harbors and Waters Board for the Town of Marblehead, as well as on the Marblehead Solid Waste Study Committee. Today he is a member of the Osgood Park Neighborhood Association Board of Directors.

I strongly recommend confirmation of Mr. Koch to the Sustainability, Energy, and Resiliency Committee. We are fortunate that he is willing to serve our community in this important role and lend his expertise and dedication to this committee and its work.

Very truly yours,

A handwritten signature in black ink that reads "Kim Driscoll". The signature is written in a cursive, flowing style.

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

September 13, 2018

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I am very pleased to appoint Deborah Greel, of 34 Boardman Street, to the Salem Licensing Board, to complete the remainder of a six-year term originally held by Sarah Stanton and to expire December 3, 2021. I hope you will join me in thanking Ms. Stanton for her dedicated service to the committee and to our community.

Ms. Greel served as Salem's first Public Art Planner from 2014 until her retirement this year. Previous to that she was the Executive Director of the Marblehead Arts Association from 2006 until 2014 and, prior to that, was director of Salem Main Streets from 2001 to 2005. Ms. Greel earned an Associates degree in Cooperative Retailing from North Shore Community College and went on to study non-profit management and leadership studies at Boston University. She serves on the steering committee of the Essex County Community Foundation's Creative County Initiative and the advisory committee for El Punto Urban Art Museum. Ms. Greel is a volunteer with Salem Rotary and the Boys & Girls Club of Greater Salem. With her extensive experience and familiarity with Salem's downtown restaurants, retailers, and non-profits, not to mention our many festivals and special events, Ms. Greel will bring much to our Licensing Board.

I strongly recommend confirmation of Ms. Greel to the Licensing Board. We are fortunate that she is willing to serve our community in this important role and lend her expertise and dedication to this board and its work.

Very truly yours,

A handwritten signature in black ink that reads "Kim Driscoll". The signature is written in a cursive, flowing style.

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

**Kimberley Driscoll
Mayor**

September 13, 2018

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I am very pleased to appoint Rebecca L. English, of 24 Prescott Street, to Salem Historical Commission, to complete the remainder of a three-term originally filled Susan Keenan and to expire March 1, 2019. I hope you will join me in thanking Ms. Keenan for her dedicated service to the commission and to our community.

Ms. English will be taking the seat upon the Commission that is filled by a candidate recommended to me by our local realtors' association, pursuant to M.G.L. Chapter 40C, section 4. Ms. English has more than 25 years of experience in banking, valuations, and real estate and comes with the recommendation of the North Shore Association of Realtors' Board of Directors. She earned her Bachelor of Science degree in Management and her MBA from Bentley College and has taught at Endicott College's School of Business and the Mortgage Bankers Association's School of Mortgage Servicing. Prior to her current position with Accurety Real Estate, Ms. English served as Assistant Vice President of Operations for MCS Valuations and, before that, spent 16 years in a series of positions of elevating responsibility with Boston Federal Saving Bank.

I strongly recommend confirmation of Ms. English to the Historical Commission. We are fortunate that she is willing to serve our community in this important role and lend her expertise and dedication to this commission and its work.

Very truly yours,

A handwritten signature in cursive script that reads "Kim Driscoll".

**Kimberley Driscoll
Mayor
City of Salem**



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

September 13, 2018

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I am very pleased to appoint Claudia Chuber, of 190 Bridge Street #2401, to the Salem Housing Authority Board to fill a vacant seat for a five-year term to expire July 19, 2023.

Ms. Chuber currently serves as Development Operations Manager for the House of the Seven Gables and, previous to that, Director of Community Affairs & Grants Management at the Peabody Essex Museum. Ms. Chuber, who served as a City Councillor from 2002 to 2003, is deeply familiar with our city and the people who call it home. She has served as a member of the City Harbor Plan Committee and as Director of Development for the North Shore Community Development Coalition.

I strongly recommend confirmation of Ms. Chuber to the Salem Housing Authority Board. We are fortunate that she is willing to serve our community in this important role and lend her expertise and dedication to this board and its work.

Very truly yours,

A handwritten signature in cursive script that reads "Kim Driscoll".

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

**Kimberley Driscoll
Mayor**

September 13, 2018

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I am very pleased to appoint David Gauthier, of 56 Valley Street, to the Cable Television and Technology Commission for a two-year term to expire September 13, 2020. Mr. Gauthier will take the seat previously held by Ms. Laura DeToma Swanson. I hope you will join me in thanking Ms. DeToma Swanson for her dedicated service to the commission and to our City.

Mr. Gauthier has extensive experience in community media, with over two decades of work in the field, including serving as program director at Salem Access Television from 1999 to 2010. In 2011 he took on the role of Executive Director for Winchester Community Access and Media, a position he continues to hold today. Two years ago, Mr. Gauthier was named to serve as the Vice President of MassAccess, a statewide community media advocacy agency representing over 100 centers across Massachusetts.

I strongly recommend confirmation of Mr. Gauthier to the Cable Television and Technology Commission. We are fortunate that he is willing to serve our community in this important role and lend his expertise and dedication to this commission and its work.

Very truly yours,

A handwritten signature in cursive script that reads "Kim Driscoll".

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

September 13, 2018

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I am very pleased to appoint Tyler Carlton, of 34 Park Street #2, to the Scholarship and Education Committee to fill the remainder of a three-year term to expire June 1, 2019, for a seat previously held by Joseph Salerno. I hope you will join me in thanking Mr. Salerno for his many years of dedicated service to the committee, to our City, and to the youth of Salem.

Mr. Carlton currently works in the external affairs office for State Auditor Suzanne Bump. He interned for both Representative Paul Tucker and Senator Joan Lovely. A graduate of Salem State University, where he earned a Bachelor's degree in political science, Mr. Carlton is currently pursuing Master's degrees in both political science and public administration from Suffolk University. As a recent college graduate himself, Mr. Carlton is very familiar with the challenges presented by the rapidly escalating cost of higher education. He is well equipped to help the committee in their work, trying to mitigate those costs for Salem students heading off to college.

I strongly recommend confirmation of Mr. Carlton to the Scholarship and Education Committee. We are fortunate that he is willing to serve our community in this important role and lend his expertise and dedication to this board and its work.

Very truly yours,

A handwritten signature in cursive script that reads "Kim Driscoll".

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

**Kimberley Driscoll
Mayor**

September 13, 2018

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I am very pleased to appoint Attorney Datanis Elias, of 71 Harbor Street, to the Salem Board of Health, to complete the remainder of a three-year term to expire July 21, 2019, previously held by Mary Lauby, who has stepped down from the board as she is moving. I hope you will join me in thanking Ms. Lauby for her service on the Board of Health and for her commitment to our community.

Attorney Elias has been a private practice attorney since 1999 and is currently a hearings officer for the Driver Control Unit of the Massachusetts Registry of Motor Vehicles. While her specific background in the law is not directly related to public health, I believe her legal training and her experience interacting with the public as a hearing officer, as well as her fluency in Spanish, make her well prepared to be a member of the Board as it conducts its business. Attorney Elias received Bachelor's degree from Merrimack College and her Juris Doctor from the Massachusetts School of Law.

I strongly recommend confirmation of Attorney Elias' appointment to the Board of Health. We are fortunate that she is willing to continue to serve our community in this important role and lend her expertise and dedication to the board and its work.

Very truly yours,

A handwritten signature in black ink that reads "Kim Driscoll". The signature is written in a cursive, flowing style.

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

September 27, 2018

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I reappoint, subject to City Council confirmation, Ms. Robin Seidel, of 18 Williams Street, to the Salem Traffic & Parking Commission for a term of three years to expire September 27, 2021.

I enthusiastically recommend confirmation of her reappointment to the Traffic & Parking Commission and ask that you join me in thanking her for her continued dedicated service and commitment to our community.

Very truly yours,

A handwritten signature in black ink that reads "Kim Driscoll". The signature is written in a cursive, flowing style.

Kimberley Driscoll
Mayor
City of Salem

City of Salem

In the year Two Thousand and Eighteen

An Ordinance to amend the Ordinance regarding Short-Term Residential Rentals to allow registration fees for short-term rentals in the City of Salem.

Be it ordained by the City Council of the City of Salem, as follows:

Section 1. An amendment to **City of Salem Code, Ordinances, PART III, Chapter 15, Section 15-6 Requirements for Short-Term Rentals, Subsection a. Registration**, is hereby enacted to include the following additional language at the end of the subsection:

“To cover the expenses associated with monitoring compliance with the requirements of the ordinance, the Director of Inspectional Services shall be authorized to set an annual registration fee per Short-Term Rental unit, in addition to any fee that may be charged for certificate of fitness inspection(s), not to exceed the pro-rata cost to the City for monitoring and enforcement of this section.”

SECTION 2.

This ordinance shall take effect on April 15, 2019.



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

September 27, 2018

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

The enclosed Ordinance would allow for the Director of Inspectional Services to establish an annual registration fee for short-term rental properties in order to fund the monitoring and enforcement associated with the City's short-term rentals regulations.

I recommend adoption of this Ordinance so that the cost for ensuring compliance with our new requirements for short-term rentals will be directly supported by those subject to the regulations and not City taxpayers as a whole.

Sincerely,

A handwritten signature in black ink that reads "Kim Driscoll".

Kimberley Driscoll
Mayor
City of Salem



CITY OF SALEM

In City Council, Sept. 27, 2018

Ordered: In accordance with 760 CMR 66.08, the Mayor, on behalf of the City of Salem, is hereby authorized to submit to the Massachusetts Department of Housing and Community Development (DHCD) an amendment to the existing Downtown Salem Housing Development (HD) Zone and Housing Development Incentive Program Plan originally approved by DHCD in 2017. The HD Zone shall be expanded to include all parcels within the Center Development (B5) zoning district, the adjacent North River Canal Corridor zoning district and three additional parcels, specifically 5 Broad Street, 17 Hawthorne Boulevard, and 150 Federal Street.



CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll
Mayor

September 27, 2018

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I am writing to request you approve an amendment to expand the City's Housing Development (HD) Zone program area and Plan to include all parcels within the B-5 and North River Canal Corridor (NRCC) zoning districts, as well as 5 Broad Street, 17 Hawthorne Boulevard, and 150 Federal Street.

Enclosed for your review are:

- 1.) a City Council Order approving the expansion of the Housing Development Zone and Plan and
- 2.) the HDIP Plan Amendment with associated attachments, including Downtown Salem HD Zone Map as newly proposed.

The expansion would include 339 parcels over 130 acres and would help foster continued positive growth and pedestrian activity within our downtown. By encouraging housing opportunities in this area of the City, an expanded HD program area will bring stronger mixed residential and business activity to downtown Salem.

The Housing Development Incentive Program (HDIP) was established by M.G.L., Chapter 40V in 2012. It provides Gateway municipalities with a development tool to increase residential growth, expand the diversity of housing stock, support economic development, and promote neighborhood stabilization in designated areas. The HDIP provides two tax incentives to encourage substantial rehabilitation of properties for lease or sale as multi-unit housing:

1. A local-option real estate tax exemption (called a Tax Increment Exemption—TIE) on all or part of the increased property value resulting from improvements. This is a concept most comparable to a traditional TIF.
2. A state tax credit for Qualified Substantial Rehabilitation Expenditures (QSREs) that is awarded through a rolling application process.

The City's existing HD Plan and program area were approved by the City Council and the state Department of Housing and Community Development (DHCD) in 2017. The program area included six

parcels located in the northern portion of the downtown within the Urban Renewal area¹. Earlier this year the City Council approved a local TIE agreement with 65 Washington, LLC, a property in the original HD program area and which is now currently applying for state tax credits. The financial incentives from these will offset all or most of the gap created by the expected work to remove hazardous materials, ultimately making this project possible.

The expansion of the HD program area will increase the feasibility of residential growth in targeted areas in the City suitable for mixed-use, multifamily development by providing an additional financing tool to overcome development challenges. It is anticipated that future projects within the B-5 and North River Canal Corridor zoning districts will experience similar challenges as 65 Washington Street did. The expansion of Salem's HD program area to include the entire B-5 and North River Canal Corridor zoning districts will provide a useful tool to aid in the production of greatly needed housing in these target areas.

The proposed amendment to expand the HD program area to include three additional parcels outside of, but in close proximity to, either the B-5 or NRCC zoning districts is in response to specific housing projects under consideration at those locations. The 17 Hawthorne Boulevard and 150 Federal Street parcels both include former Catholic schools intended to be converted to residential units. The building at 5 Broad Street is a former public school built in 1856 and used until this past month as the City's Senior Center for the past 40 years. The City has issued a Request for Proposals (RFP) for the sale and reuse of the building and, as a 2009 feasibility study identified, residential units is the most likely reuse. All three parcels are potential housing projects in close proximity to the Salem Commuter Rail Station and other downtown services and amenities.

The City has the flexibility to determine at any time in the future if it would like to entertain housing projects on any parcel within the HD program area, which would then be able to access the benefits of the HDIP. Likewise, parcels can remain undeveloped or developed in another fashion without utilizing the HDIP. The approval process to expand the Housing Development program area requires a public hearing. The public hearing must be advertised for two successive weeks with the second notice being at least three days prior to the hearing.

I am requesting your approval to expand the Downtown Salem Housing Development program area. Not only have the financial benefits of this state-authorized tool allowed 65 Washington, LLC to advance the District Court project, it will also incent worthy projects to consider high quality housing projects at the other sites. As you know, housing – in all forms – is needed throughout Salem. Projects that would be developed in the Housing Development program area would be excellent examples of Smart Growth transit-oriented development given the proximity of Salem MBTA Station and would help us meet the growing need for housing demonstrated by the 2015 MAPC Housing Needs and Demand Analysis projections. Thank you for your consideration.

Sincerely,



Kimberley Driscoll
Mayor
City of Salem

¹ The six parcels are 50 Washington Street, 65 Washington Street, 29 Federal Street, 15 Federal Street, 32-50 Federal Street and 252 Bridge Street.



CITY OF SALEM, MASSACHUSETTS
HOUSING DEVELOPMENT INCENTIVE PROGRAM
HDIP ZONE AMENDMENT PROPOSAL

The City would like to expand the existing Downtown Salem HD Zone. Below is a memo summarizing the change in accordance to 760 CMR 66.08.

1. Detailed description of each proposed change

In accordance with 760 CMR 66.08, the City of Salem would like to expand its existing Downtown Salem HD Zone approved by DHCD in 2017. The expansion would include all parcels within the Center Development (B5) and the adjacent North River Canal Corridor (NRCC) zoning districts. Three additional parcels would also be included in this expansion, 5 Broad Street, 17 Hawthorne Boulevard, and 150 Federal Street. These parcels are proximate to the B5 and NRCC zoning districts and are being included because of pending redevelopment. The proposed zone change would add approximately 130 acres over 339 parcels. The current HD Zone consists of six parcels located within the Urban Renewal Area in the B5 zoning district in Downtown Salem. In total the proposed change would increase the size of the zone from 5.4 acres in 6 parcels to 135 acres in 345 parcels.

2. The purpose of the change – i.e., the reason why each change is needed

The expansion of the HD Zone will increase market rate residential development in targeted areas in the city suitable for mixed-use, multifamily development by providing an additional financing tool to overcome development challenges, as well as increase the feasibility of market rate housing projects. The Urban Renewal Area—which covers most of the B5 zoning district—was identified in the approved HDIP Plan as a targeted area for transit-oriented, market rate housing production. Expanding the zone to include all parcels in the district does not necessarily guarantee that all housing projects will participate in the HDIP but provides a tool for development should developers want to collaborate with the City and DHCD.

The 65 Washington Street project is a prime example of how HDIP incentives helped a project in the Urban Renewal Area overcome redevelopment challenges. It is anticipated that future projects within the B5 and NRCC will experience similar challenges, and the expansion of Salem's

HD Zone to include the entire B5 and NRCC zoning districts will provide a useful tool to aid in the production of market rate housing in target areas.

The City pursued the creation of an HDIP plan and zone partly in response to redevelopment challenges at the former District Court Building at 65 Washington Street. 65 Washington Street is scheduled to be transferred from DCAMM to the Salem Redevelopment Authority (SRA) by December 31, 2018, and the SRA intends to sell the property to 65 Washington Street LLC. to raise the existing structure and replace it with a six-story housing development featuring ground-floor commercial space for retail and restaurant use. This project would not be progressing without the adoption of Salem's HD Zone and Plan. Contamination was discovered during the due diligence process, including asbestos, lead contamination, and several underground storage tanks from a past auto service facility. The HDIP incentives will help off-set these extraordinary redevelopment challenges and make the project feasible. 65 Washington Street LLC now has a fully permitted project, has executed a TIE with the City of Salem, has received Preliminary Certification from DHCD and expects Conditional Certification in September.

The objective of the HD Plan and the amendment to expand the zone is to foster the continued redevelopment and pedestrian activity within Downtown Salem and the adjacent North River area. By encouraging market rate housing opportunities in this area of the city, the HD Plan will bring stronger mixed residential and business activity. The proposed expansion is consistent with objectives in both the *Salem Downtown Renewal Plan* the *Salem Housing Needs and Demand Analysis*. The SDRP speaks to a coordinated commitment to "restore conditions of health, safety, amenity and economic viability" with "a range of compatible uses, each well suited to its location (SDRP, Plan Objectives, E6). The SHNADA opens by noting "Creating homes for the next generation of workers while also addressing the complex needs of an aging and increasingly diverse population is one of those challenges (SHNADA Introduction, p. 7)."

The North River Canal Corridor zoning district was adopted in direct response to the 2003 Neighborhood Master Plan for the North River Canal Corridor. Formerly known as Blubber Hollow, up until the late 20th century the area was home to various industrial uses including tanneries and mills, many of which used the canal for the disposal of waste. Many of these industries have left, leaving large underutilized parcels and mill buildings near the Salem Commuter Rail Station and other transit, services and amenities, and parks and green space, making the area prime for adaptive reuse and redevelopment into mixed use, pedestrian oriented and transit oriented projects. The Master Plan calls for the City to "encourage public and private developments in the area that provide connections and links to the adjacent train station to promote transit use, reduce and manage existing traffic congestion; address parking demand; and provide a more pedestrian-friendly area", and that development "contributes to the quality of life for all Salem residents by providing housing options, livable wage employment prospects, and cultural and recreational opportunities". The cost of redevelopment is particularly high in the NRCC considering the contaminants associated with the previous industrial uses, and the expansion of the HD Zone to include the district would afford developers an additional incentive to overcome high redevelopment costs.

In addition to expanding the HD Zone to include all of the B5 and NRCC districts in order to advance planning goals, the proposed amendment includes three properties outside of but adjacent or nearly adjacent to the B5 and NRCC districts. The three properties have specific market rate housing projects under consideration. The 17 Hawthorne Boulevard and 150 Federal Street parcels both include former Catholic schools intended to be converted to residential units. 5 Broad Street is a former public school built in 1856 currently used as City offices. The City has issued a Request for Proposals (RFP) for the sale and reuse of the building, and residential units is the most likely reuse. All three parcels are ideal locations for market rate housing in close proximity to the Salem Commuter Rail Station and other downtown services and amenities.

All three parcels contain historic buildings and will have similar reuse challenges. Two of the three buildings are located within a local historic district and under jurisdiction of the Salem Historical Commission. The exterior preservation of these buildings will most likely be a priority for the community in addition to any requirements by the Historical Commission. Based on their age, it is likely that there will be contaminants that will need to be abated. The environmental mitigation and preservation challenges to convert while preserve the character of these buildings and produce market rate housing will be significant for a developer. Expanding the HDIP to include these parcels will provide another tool that can help overcome extraordinary development challenges and produce market rate housing in a targeted area.

3. The effect of each change on individual HD Projects

This proposal will not have an effect on the parcels currently in Salem's HD Zone since they are all located within the Urban Renewal Area in the B5 zoning district. As mentioned, the 65 Washington Street project is progressing in large part because of the City's adoption of the parcel into the HD Zone. The SRA is currently working with a consultant on a downtown visioning process that will focus on the other five parcels in the existing HD Zone, 29 Federal Street, 15 Federal Street, 32-50 Federal Street, 252 Bridge Street, and 50 Washington Street. The goal is to solicit proposals for some of these parcels in 2019.

4. Pertinent revisions of the original Application for approval of the HD Zone designation or HD Zone Plan, or to the HD Tax Increment Exemption Agreement, to reflect the changes

The City is not proposing any amendments to the HD Zone Plan that would affect the existing HD Tax Increment Exemption Agreement. The timelines for the implementation of the HD Zone Plan and the duration of the HD Zone Plan as laid out in the City's current approved plan will remain unchanged.

5. A statement of whether the Municipality considers the amendment to be material or nonmaterial

The City of Salem considers the proposed amendment to the Downtown Salem HD Zone to be material.

6. Evidence of a public hearing, as appropriate, including a copy of hearing notices and minutes

The Department of Planning and Community Development intends to submit the amendment plan to the City Council in September 2018. The City Council will then hold a public hearing. A copy of the hearing notice and minutes will be provided to DHCD. DHCD has already reviewed a draft of this amendment.

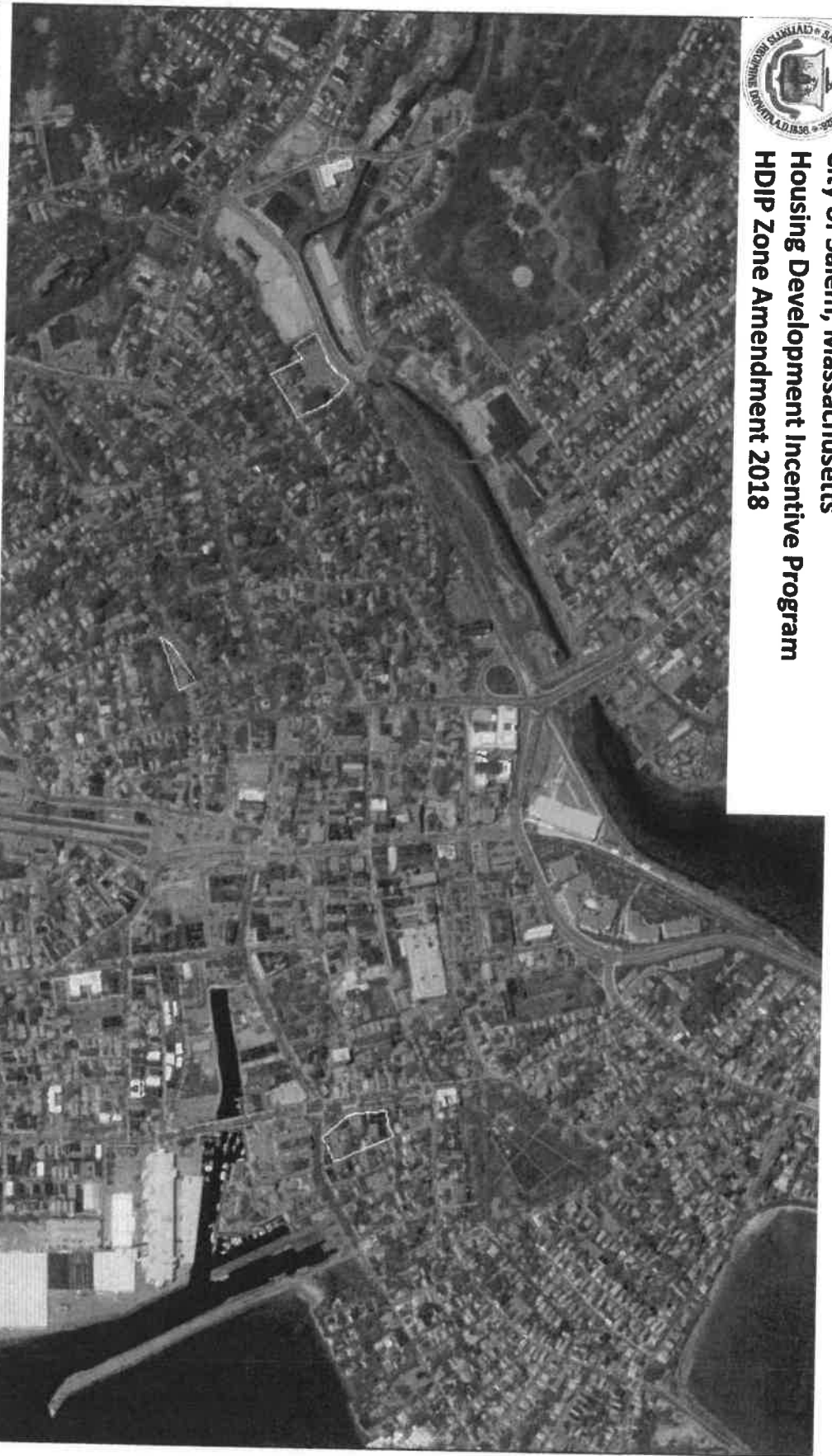
7. Certification by the Town or City Clerk of local approval pursuant to 760 CMR 66.08 (3)

The City will provide DCHCD with a certification from the City Clerk once the amendment plan has been approved by the City Council.

DRAFT



**City of Salem, Massachusetts
Housing Development Incentive Program
HDIP Zone Amendment 2018**



Existing HD Zone

Proposed addition – B5 Zoning District

Proposed addition – NRCC Zoning District

Proposal additional parcels – 5 Broad Street, 17 Hawthorne Blvd, 150 Federal Street





CITY OF SALEM, MASSACHUSETTS

Kimberley Driscoll

Mayor

September 27, 2018

Honorable Salem City Council
Salem City Hall
Salem, Massachusetts 01970

Ladies and Gentlemen of the City Council:

I am writing to request you approve an amendment to expand the City's Housing Development (HD) Zone program area and Plan to include all parcels within the B-5 and North River Canal Corridor (NRCC) zoning districts, as well as 5 Broad Street, 17 Hawthorne Boulevard, and 150 Federal Street.

Enclosed for your review are:

- 1.) a City Council Order approving the expansion of the Housing Development Zone and Plan and
- 2.) the HDIP Plan Amendment with associated attachments, including Downtown Salem HD Zone Map as newly proposed.

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The Housing Development Incentive Program (HDIP) was established by M.G.L., Chapter 40V in 2012. It provides Gateway municipalities with a development tool to increase residential growth, expand the diversity of housing stock, support economic development, and promote neighborhood stabilization in designated areas. The HDIP provides two tax incentives to encourage substantial rehabilitation of properties for lease or sale as multi-unit housing:

1. A local-option real estate tax exemption (called a Tax Increment Exemption—TIE) on all or part of the increased property value resulting from improvements. This is a concept most comparable to a traditional TIF.
2. A state tax credit for Qualified Substantial Rehabilitation Expenditures (QSREs) that is awarded through a rolling application process.

The City's existing HD Plan and program area were approved by the City Council and the state Department of Housing and Community Development (DHCD) in 2017. The program area included six

parcels located in the northern portion of the downtown within the Urban Renewal area¹. Earlier this year the City Council approved a local TIE agreement with 65 Washington, LLC, a property in the original HD program area and which is now currently applying for state tax credits. The financial incentives from these will offset all or most of the gap created by the expected work to remove hazardous materials, ultimately making this project possible.

The expansion of the HD program area will increase the feasibility of residential growth in targeted areas in the City suitable for mixed-use, multifamily development by providing an additional financing tool to overcome development challenges. It is anticipated that future projects within the B-5 and North River Canal Corridor zoning districts will experience similar challenges as 65 Washington Street did. The expansion of Salem's HD program area to include the entire B-5 and North River Canal Corridor zoning districts will provide a useful tool to aid in the production of greatly needed housing in these target areas.

The proposed amendment to expand the HD program area to include three additional parcels outside of, but in close proximity to, either the B-5 or NRCC zoning districts is in response to specific housing projects under consideration at those locations. The 17 Hawthorne Boulevard and 150 Federal Street parcels both include former Catholic schools intended to be converted to residential units. The building at 5 Broad Street is a former public school built in 1856 and used until this past month as the City's Senior Center for the past 40 years. The City has issued a Request for Proposals (RFP) for the sale and reuse of the building and, as a 2009 feasibility study identified, residential units is the most likely reuse. All three parcels are potential housing projects in close proximity to the Salem Commuter Rail Station and other downtown services and amenities.

The City has the flexibility to determine at any time in the future if it would like to entertain housing projects on any parcel within the HD program area, which would then be able to access the benefits of the HDIP. Likewise, parcels can remain undeveloped or developed in another fashion without utilizing the HDIP. The approval process to expand the Housing Development program area requires a public hearing. The public hearing must be advertised for two successive weeks with the second notice being at least three days prior to the hearing.

I am requesting your approval to expand the Downtown Salem Housing Development program area. Not only have the financial benefits of this state-authorized tool allowed 65 Washington, LLC to advance the District Court project, it will also incent worthy projects to consider high quality housing projects at the other sites. As you know, housing – in all forms – is needed throughout Salem. Projects that would be developed in the Housing Development program area would be excellent examples of Smart Growth transit-oriented development given the proximity of Salem MBTA Station and would help us meet the growing need for housing demonstrated by the 2015 MAPC Housing Needs and Demand Analysis projections. Thank you for your consideration.

Sincerely,



Kimberley Driscoll
Mayor
City of Salem

¹ The six parcels are 50 Washington Street, 65 Washington Street, 29 Federal Street, 15 Federal Street, 32-50 Federal Street and 252 Bridge Street.



CITY OF SALEM

In City Council, Sept. 27, 2018

Ordered: The City Council hereby authorizes the closure of the following roadways from October 16 through November 2, 2018:

- (1) The right hand southbound lane of Washington Street between a point approximately 125 feet north of Federal Street and the southernmost end of Washington Street's intersection with Federal Street; and
- (2) Federal Street from Washington Street to a point approximately 180 feet to the west.



**City of Salem, Massachusetts
Police Department Headquarters**

**95 Margin Street
Salem, Massachusetts 01970
(978) 744-2204**

Mary E. Butler
Chief of Police

September 25, 2018

Salem City Council
Salem City Hall
93 Washington Street
Salem, MA 01970

Re: Street Closure Request for Carnival

Dear Honorable City Councillors:

As Chief of the Police Department, I am respectfully requesting Council approval in authorizing the closure of portion of two roadways to accommodate Fiesta Shows Carnival for the 2018 Halloween season.

It is anticipated that the Carnival will begin set up on October 16, 2018 and conclude the take down and clean up by Friday, November 2, 2018. The street areas that I am requesting your approval for closure would be as follows:

- The right hand southbound lane of Washington Street between a point approximately 125 feet north of Federal Street and the southernmost end of Washington Street as it intersects with Federal Street.


In essence, this is a portion of the lane as motorist turn from Bridge Street onto Washington Street in the lane immediately adjacent to the sidewalk and old courthouse. This will not interfere with the ability of motorist to turn, it will require they merge with oncoming traffic a few feet sooner than current travel.

- A portion of Federal Street, approximately 180 feet to the West of Washington Street.

This will be from Washington Street to just the driveway that exits onto Federal Street from Bridge Street between the courthouse buildings. This will be the access point to that portion of Federal Street while traffic runs in the same direction as it does currently.

I will be available to answer any questions that you may have concerning this request. Thank you in advance for your consideration.

Sincerely,


Mary E. Butler
Chief of Police

Cc: Kimberley Driscoll, Mayor
Elizabeth Rennard, City Solicitor
All Captains

Washington/Federal – October Carnival

1. Carnival will operate for 13 days, October 19 – October 31. Set up takes place October 16-18; break down takes place November 1-2.
2. Operating hours: Monday-Thursday, 4pm-9pm; Friday, 3pm-10pm; Saturday, 11am-10pm; Sunday, noon-10pm. Wednesday, October 31 would operate 3pm-10pm.
3. Total rides would be eight: three children's rides at the old District Court lot and five regular rides on the Washington Street and Federal Street site.
4. City will clean the old District Court lot and repair damaged pavement.
5. Traffic barriers will separate the closed lane of Washington Street and the portion of Federal Street.
6. Entry onto this portion of Federal Street would be via a right turn only off of Bridge Street onto the access road next to the new Probate Court, and then a right turn only onto Federal Street.
7. South bound Washington Street traffic would merge to one lane, which it effectively does now. The wider right lane is only utilized for traffic turning right onto Federal Street, which will not be a possibility with this configuration.
8. Access to the Tabernacle Church parking lot would be maintained, both for church use and for the church's annual October fundraising activities.
9. The music levels will be turned down or off at the request of the Tabernacle Church during certain special events at the church. An organ concert on October 27 and a recurring magic show overlaps with the carnival dates. The carnival will not begin until noon on Sundays, to avoid operating during services. Fiesta will site generators or other noise-generating equipment away from the church.
10. Pedestrian access north/south on the west side of Washington Street will be kept open at all times.
11. Pedestrian crossing over Washington Street just north of Federal Street would be closed, however the crossing just south of Federal Street would remain open and accessible.
12. Crosswalk along the site on the south edge of Federal Street will be kept clear and unobstructed.
13. Halloween night music stage and beer tent previously located at this site would be relocated to the Salem Common.
14. Zagster Bike Share hub will be relocated to a new site within the general area for the duration.



1. Smaller site, so only 8 rides.
2. 3 kids' rides at old District Court lot, 5 adult rides on street.
3. Home barricades at perimeter.
4. Preserve roundwood, grasses, and sidewalk, constructed to west side of Washington Street for pedestrian.
5. Halloween night relocation of radio stage and beer garden to Salem Common.
6. Relocate Ziegler station.
7. Preserve access to Tabernacle Church lot.

the lane for Washington Street southbound

Crazy Bus, Rock n Jug, Merry

Funhouse, Phantoms & Fury

Zero Gravity Seven Seas Expo Wheel

RAMP RT 107 SB TO RT 114 WB

RAMP RT 107 SB TO RT 114 WB

RAMP RT 107 NB TO RT 114 WB

NORTH STREET

BRIDGE STREET

WASHINGTON STREET

WASHINGTON STREET

WASHINGTON STREET

NORTH STREET

NORTH STREET

FEDERAL STREET

FEDERAL STREET

LYNDE STREET

CHURCH STREET



CITY OF SALEM

In City Council, Sept. 27, 2018

Ordered: Pursuant to City Ordinance Chapter 1, Sec. 1-11. - *Safety enhancement zone; violations and penalties*, the City Council hereby Orders that the Safety enhancement zone designation dates shall be extended, as provided in Sec. 1-11(b)(3), to include Friday, October 26, 2018 at 12:01 am through Sunday, October 28, 2018 at midnight thereby establishing the dates of the Safety Enhancement Zone designation from 12:01 am on Friday, October 26, 2018 through midnight on Friday, November 2, 2018.



City of Salem, Massachusetts
Police Department Headquarters
95 Margin Street
Salem, Massachusetts 01970
(978) 744-2204

Mary E. Butler
Chief of Police

September 25, 2018

Salem City Council
Salem City Hall
93 Washington Street
Salem, MA 01970

Re: Safety Enhancement Zone – Sec. 1-11

Dear Honorable City Councillors:

I am writing to you to request an extended period of activation period on the Safety Enhancement Zone, which is within the B-5 Central Business District, consistent with the Safety Enhancement Zone Ordinance, Sec. 1-11, paragraph (3).

The current ordinance defines the Safety Enhancement Zone designation to be active "48 hours prior to October 30 at midnight (and extend) through 48 hours following October 31 at midnight or for an extended period by order of the City Council".

This ordinance establishes enhanced fines for violations of Salem City ordinances within this zone for a period of time in order to protect public health and welfare of all persons in the area and residents of the City of Salem. Given that October 31, 2018 falls on a Wednesday this year, without an extension, the enhanced zone will only be effective commencing midnight on Monday, October 29th.

Given that the weekend before Halloween, when Halloween falls on a weekday, is historically busy with large crowds, I respectfully request consideration of the extension to include Friday, October 26, 2018 at midnight through Friday, November 2, 2018 at midnight.

I am available to answer any questions or concerns you may have with this request.

Sincerely,

A handwritten signature in black ink that reads "Mary E. Butler".

Mary E. Butler
Chief of Police

Cc: Kimberley Driscoll, Mayor
Elizabeth Rennard, City Solicitor
All Captains

Sec. 1-11. - Safety enhancement zone; violations and penalties.

- (a) *Authority.* This section is adopted by the City of Salem under its police powers to protect public health and welfare and its powers under M.G.L.A. c. 40, § 21 et seq.
- (b) *Definitions.*
- (1) *Safety enhancement zone* is defined as the B-5 Central Business District of the City of Salem's Zoning Ordinance.
 - (2) *Enhanced fine* is defined as three times the amount of the fine assessed per City Ordinance for the violation had the violation not been committed in a safety enhancement zone, but in no event shall the fine exceed \$300.00.
 - (3) *Safety enhancement zone designation dates* shall be defined as 48 hours prior to October 30 at midnight through 48 hours following October 31 at midnight or for an extended period by order of the city council.
- (c) *Safety enhancement zone; establishment, violations and penalties.* Any violation of the following designated provisions of this Code that is committed within the safety enhancement zone during the safety enhancement zone designation dates shall be subject to an enhanced fine:
Ch. 16 (Cemeteries), Ch. 20 (Fire), Ch. 22 (Noise), Ch. 24 (Offenses), Ch. 26 (Park and Recreation), Ch. 28 (Peddlers, Hawkers, Vendors, and Solicitors), Ch. 32 (Police), Ch. 38 (Streets and Sidewalks), Ch. 42 (Traffic), Ch. 44 (Vehicles for Hire).

A separate offense shall be deemed to have been committed whenever a person repeats the act that constitutes the violation.

(Ord. of 10-23-2008, § 1)

Honey Dew Donuts

Salem MT Donuts LLC

138 Canal Street, Salem, MA

Tel. 978-498-4686

To Salem City Hall,

I am applying for an Early Open Common Victualler License. I purchased an existed Honey Dew Donuts located on 138 Canal st., which currently been operating the hours of 5:00 a.m – 8:00 p.m. I would like to continue operating during those hours. Many of the residents in Salem have to go to work early and love getting breakfast before work. For that reason is why I would like to continue to open at 5:00 a.m Monday – Sunday.

Sincerely,

**George M. Tecci
Manager/ Owner**

HDDNorth@gmail.com

2018 SEP 13 AM 9:33
CITY CLERK
SALEM, MASS.



CITY OF SALEM, MASSACHUSETTS

**CARNIVAL, CIRCUS, CONCERT OR
SPECIAL EVENT PERMIT APPLICATION**
Pursuant to City Ordinance c. 6, Art. IV

2018 SEP 25 AM 10:21

CITY CLERK

Date: September 25 2018

Please complete Section A and return to the City Clerk, City Hall, 93 Washington Street, Salem, for submission to the City Council for approval. Section B shall be completed upon approval of the City Council and prior to the issuance for a permit.

Section A:

TYPE OF EVENT: Carnival

NAME OF BUSINESS, ORGANIZER OR SPONSOR: Fiesta Shows

NAME OF APPLICANT/RESPONSIBLE PARTY: Gene Dean

APPLICANT STREET ADDRESS: 15 Pine Street

CITY: Seabrook STATE: NH

TELEPHONE #: 603-474-5424 EMAIL ADDRESS: gedean@msn.com

EVENT DATES AND TIME: October 19 - 31, 2018

3 - 9 p.m. Monday - Thursday, 3 - 10 pm. Friday, Saturday 11a.m.- 10p.m., Sunday 12 p.m. - 10 p.m.

EVENT LOCATION: Federal Street, Washington Street, District Court parking lot.

(Please attach a site map indicating location of any stages, concessions, amusements, and the like)

PLEASE GIVE A DESCRIPTION OF THE NATURE OF THE EVENT AND INCLUDE A LIST OF ANY CONCESSIONS, AMUSEMENTS OR MECHANICAL RIDES:

8 - 9 Amusement Rides, 2 - 3 Food Concessions

* 2 - 3 Amusement Games, Includes Merry-Go-Round and Crazy Bus

PROVIDE LAST 3 CITIES OR TOWNS IN WHICH THE APPLICANT HELD EVENTS
(Include contact information and letter of recommendation from all three)

Marshfield Fair 781-834-6627

Woodstock Fair 860-928-3246

Hopkinton Fair 603-496-7974

CHIEF OF POLICE RECOMMENDATION (See Sec. 6-121 of Ordinance)

COMMENTS: See attached letter

APPROVE

DENY

Maury Smith
POLICE CHIEF

FIRE CHIEF RECOMMENDATION (See Sec. 6-121 of Ordinance)

COMMENTS: _____

APPROVE

DENY

FIRE CHIEF

Signature of Applicant: *Chris Jones*

ANY FALSE STATEMENT MADE ON THIS APPLICATION IS GROUNDS FOR DENIAL

Total Fee: _____

Before the City Council on _____

APPROVED

DENIED

CITY CLERK

Section B: Following the approval of the City Council, applicant must circulate the application to the departments listed below for approval. Applicant must also submit a certificate of insurance to the City clerk.

<u>DEPARTMENT</u>	<u>SIGNATURE</u>	<u>DATE</u>
BUILDING/PLUMBING (See Sec. 6-122 of Ordinance)	_____	_____
BOARD OF HEALTH	_____	_____
ELECTRICAL	_____	_____
FIRE	_____	_____
SEALER OF WEIGHTS/MEAS.	_____	_____
CITY CLERK - INSURANCE ON FILE	_____	_____



City of Salem, Massachusetts
Police Department Headquarters
95 Margin Street, Salem, Massachusetts 01970

Mary E. Butler
Chief of Police

DATE: Tuesday, September 25, 2018
TO: Salem City Council Members and Mr. Gene Dean
FROM: Chief Mary E. Butler *Mary E. Butler*
SUBJECT: Fiesta Shows Carnival Application

I have received the application from Mr. Gene Dean for the Fiesta Shows Carnival for October 12th through October 31st, 2018 to be held in the City with, currently, an undetermined location.

I have signed approval for the Fiesta Shows Carnival to take place as applied with the conditions noted below:

- All employees/staff to be working on the site in Salem will have a CORI check for all states within the U.S., including a SORB check, which will be conducted by Fiesta Shows as the organizer of said event, and a copy of the checks will be provided to Lt. Stephen Bona, Criminal Investigation Division.
- All employees/staff should have a name tag or other identifier that they are employees/staff of Fiesta Shows.
- Any incidents between Fiesta Shows employees and/or the public will be reported to the Salem Police Dept for documentation and follow-up, if necessary and Fiesta Show employees/staff are agreeable to contacting this Department to address any matters with persons on their premises that are causing problems or making the environment unsafe for staff or patrons of the Carnival.
- Fiesta Shows will cooperate with the Salem Police regarding any employees/staff identified by CORI or incident to be a problem/liability for the City of Salem community, and if so warranted, agreeably be removed from continuing in that capacity for the duration of the approved time in Salem.
- Fiesta Shows will provide a plan detailing the perimeter security of the event to the Salem Police Dept and identify and provide contact information of the company to provide after-hours security on premises. Fiesta Shows will also provide to the Chief of the Salem Police Dept at least two emergency contact names/numbers for matters occurring during operational and/or after hours.
- Fiesta Shows should have an emergency/contingency plan documented for any major incident caused by human intervention or nature to ensure the safety of all employees/staff, patrons or those passing by in close proximity (15' feet distance from the perimeter of the site) and copy of such plan should be distributed among public safety entities within the City of Salem prior to opening.
- Compliance with all other City Department's requirements and State regulations for the operation of a "Carnival" within the state.

Cc: Chief J. Gerry Guinta, Acting Fire Chief
Dominick Pangallo, Mayor's Chief of Staff
All Captains and OIC's.

CHIEF OF POLICE RECOMMENDATION (See Sec. 6-121 of Ordinance)

COMMENTS: see attached conditions

APPROVE

DENY

see attached
POLICE CHIEF

FIRE CHIEF RECOMMENDATION (See Sec. 6-121 of Ordinance)

COMMENTS: WITH ATTACHED CONDITIONS

APPROVE

DENY

[Signature]
FIRE CHIEF

Signature of Applicant: [Signature]

ANY FALSE STATEMENT MADE ON THIS APPLICATION IS GROUNDS FOR DENIAL

Total Fee: \$ 100.00

Before the City Council on _____

APPROVED

DENIED

CITY CLERK

Section B: Following the approval of the City Council, applicant must circulate the application to the departments listed below for approval. Applicant must also submit a certificate of insurance to the City clerk.

<u>DEPARTMENT</u>	<u>SIGNATURE</u>	<u>DATE</u>
BUILDING/PLUBMING (See Sec. 6-122 of Ordinance)	_____	_____
BOARD OF HEALTH	_____	_____
ELECTRICAL	_____	_____
FIRE	_____	_____
SEALER OF WEIGHTS/MEAS.	_____	_____
CITY CLERK - INSURANCE ON FILE	_____	_____

*City of Salem Massachusetts
Fire Department
48 Lafayette Street
Salem, Massachusetts 01970-3695
Telephone: 978-744-6990
Fax: 978-745-4646
Email: jggiunta@salem.com*

September 25, 2018

Conditions for Carnival October 19-31, 2018
Salem Common
Salem, MA 01970

- The amusement operator shall not provide nor allow the housing of their workers in retrofitted box trailers or any other temporary means of housing including mobile homes, campers, or motor vehicles.
- State inspection shall be performed at least one day prior to the scheduled opening of the carnival. Fiesta Shows shall give notice to the local Building and Fire Departments as to the date and time the State inspectors will be on site.
- Fiesta Shows shall make inspection appointments with Building, Health, and Fire Departments one week prior to the opening of the carnival.
- A **site drawing** listing rides, concessions, and games along with a **site safety plan**, including contact information for the daily site manager, shall be approved one week prior to the opening of the carnival.
- All necessary permits will be obtained from the City of Salem and displayed in plain sight.
- There must be access for fire apparatus to buildings within the “footprint” of the carnival.
- Rides with mechanical components, such as motors or other moving parts, which are exposed must be blocked or protected so they are not accessible by the public.
- For information and/or questions, please contact Acting Chief Giunta or Deputy Chief Levassuer at 978-744-6990.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
09/25/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Allied Specialty Insurance, Inc. 10451 Gulf Blvd Treasure Island, FL 33706-4814	CONTACT NAME: Sue Vereker	FAX (A/C, No):	
	PHONE (A/C, No, Ext): 727 547 3059	E-MAIL ADDRESS: svereker@alliedspecialty.com	
INSURED Dean and Flynn Inc dba Fiesta Shows Inc. P.O. Box 460 Seabrook NH 03874	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A : T.H.E. Insurance Company		12866
	INSURER B :		
	INSURER C :		
	INSURER D :		
	INSURER E :		
INSURER F :			

COVERAGES CERTIFICATE NUMBER: 283A REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR			CPP0100071-08	02/15/2018	02/15/2019	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ N/A PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ None PRODUCTS - COMP/OP AGG \$ 1,000,000
	<input type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE			ELP0010022-08	02/15/2018	02/15/2019	EACH OCCURRENCE \$ 4,000,000 AGGREGATE \$ 4,000,000
	<input type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Dates: October 16-November 2, 2018
Additional insured:
City of Salem
Washington & Federal Streets
District Court Parking Lot

as respects to the negligence of the named insured.

CERTIFICATE HOLDER

City of Salem
Washington & Federal Streets
District Court Parking Lot

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Carol A. Serra



To Whom It May Concern:

We would like to recommend Fiesta Shows as the midway for your event. Fiesta Shows provided our event, The 199th Skowhegan State Fair, with an exceptional midway. During this event they supplied us with safe, clean rides, excellent personnel and wonderful family entertainment throughout the grounds.

Fiesta Shows midway was a major factor in our success this year, helping us to become one of the most visited events in our area. We look forward to working with them for years to come.

We confidently recommend Fiesta Shows as a solid, reliable midway, as experts in their field.

Sincerely,

A handwritten signature in black ink that reads "Thomas Dillon". The signature is fluid and cursive, with a prominent flourish at the end.

Thomas Dillon, President
Skowhegan State Fair



Hopkinton State Fair

Post Office Box 700 392 Kearsarge Avenue Contoocook, NH 03229-0700

Telephone: (603) 746-4191 www.hsfair.org FAX: (603) 746-3037

To Whom It May Concern,

For the past 20 years the Hopkinton State Fair has placed its trust in Dean & Flynn to provide the annual midway at our fair. They always provide us with a great selection of rides, games, and attractions. I personally enjoy doing business with this company, I can always rely on their professionalism and attention to detail when dealing with regulations and guidelines. Fiesta Shows takes pride in being part of our fair and working closely with us as an organization to continue to grow in the industry. I would strongly recommend Gene Dean and his "Fiesta Shows" to any organization looking for an honest and professional carnival operation.

If I can be of any further assistance with any questions please don't not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Deborah A. Curtis".

Deborah A. Curtis, President

Hopkinton State Fair

President



Marshfield Agricultural & Horticultural Society
Incorporated 1867

To Whom it may Concern:

I am writing with regards to our long standing business dealings with Mr. Eugene Dean and his company, Fiesta Shows.

Our relationship dates back for forty seven years. During this time frame, Fiesta Shows has supplied rides, game, and food for the annual Marshfield Fair, which has just held its 150th Fair. All of his rides are properly maintained and inspected, the ride help are properly trained, and his games and food establishments are clean and properly licensed. Mr. Dean and his son, E.J. Dean, take great pride in keeping his portion of the Fairgrounds well lit, free of obstacles, and in a clean, inviting atmosphere. There have never been any major problems and any smaller ones are handled in a professional and courteous manner.

Marshfield Fair has an extended contract with Fiesta Shows through 2021. I would highly endorse Mr. Dean and Fiesta Shows to anyone considering any type of carnival or food event. This is a professional enterprise that conducts its business dealings in that same professional manner.

Respectfully,

Carleton Chandler
Secretary Treasurer
Marshfield Agricultural and Horticultural Society
Marshfield Fair

Post Office Box 5
Marshfield, MA 02050
Tel. 781 834-6629 Fax. 781 834-6750

City of Salem

In the year Two Thousand and Eighteen

AN ORDINANCE ALLOWING SHORT-TERM RESIDENTIAL RENTALS IN THE CITY OF SALEM

Be it ordained by the City Council of Salem, as follows:

SECTION 1. A new section of the City of Salem Code, Ordinances, PART III, CHAPTER 15 SHORT-TERM RENTALS is hereby enacted as follows:

“Chapter 15 Short-Term Residential Rentals.

15-1 Purpose.

The purpose of this section is to provide a process through which certain dwelling units may be registered with the City of Salem for use as short-term rental units under the stipulations laid out within the ordinance.

15-2 Definitions.

Booking Agent. Any person or entity that facilitates reservations or collects payment for a Short-Term Rental on behalf of or for an Operator.

Director. Director of the Inspectional Services Department or a designee.

ISD. City of Salem Inspectional Services Department.

Operator. A natural person who is either the owner or the lawful tenant of the Residential Unit that he or she seeks to offer as a Short-Term Rental. Only one owner or one tenant may be registered as an Operator for a residential Unit, and it shall be unlawful for any other person, even if that person is an owner or a lawful tenant and meets the qualifications of Primary Resident, to offer a Residential Unit for Short-Term Residential Rental.

Home Share Unit. An entire Residential Unit offered as a Short-Term Rental that is the Operator’s Primary Residence.

Limited Share Unit. A Residential Unit that is the Operator’s Primary Residence, a portion of which is offered as a Short-Term Rental while the Operator is present. Occupancy shall be limited to three bedrooms including the bedroom of the Operator in a Limited Share Unit.

Non-Owner Occupied Unit. An entire Residential Unit where the Operator or owner does not live in either the unit or the building and it is not the Operator’s primary residence.

Owner-Adjacent Unit. An entire Residential Unit offered as a Short-Term Rental that is not the Owner’s Primary Residence but that is located within the same dwelling or is otherwise within the same property as the Primary Residence of, and is owned by, said Owner.

Primary Residence. The Residential Unit in which the Operator resides for at least six months out of a twelve-month period. Primary residence is demonstrated by showing that as of the date of registration of the Residential Unit, the Operator has resided in the Residential Unit for six of the past twelve months or that the Operator intends to reside in the Residential Unit for six of the next twelve months, as demonstrated by at least two of the following: utility bill, voter registration, motor vehicle registration, deed, lease, driver’s license, other state-issued identification, or proof of residential exemption.

Residential Unit. A Residential Unit is a dwelling unit as defined in the zoning ordinance but excludes the following: a congregate living complex; elderly housing; a group residence; a homeless shelter; temporary dwelling structure; and transitional housing. *Short-Term Rental(s).* The use of a Residential Unit for residential occupancy by a person or persons for a period of fewer than thirty (30) consecutive calendar days for a fee. A Short-Term Rental may or may not be facilitated through a Booking Agent.

15-3 Short-Term Residential Rentals in the City of Salem.

No Residential Unit shall be offered as a Short-Term Rental except in compliance with the provisions of this section and any regulations that may be promulgated by the Building Inspector to carry out the provisions of this section.

15-4 Ineligible Residential Units.

a. The following Residential Units are not eligible to be offered as Short-Term Rentals:

(i) Residential Units where the Operator or owner does not live in either the unit, the building, or within the property and it is not the Operator's primary residence, unless it qualifies under the exception for existing Non-Owner Occupied Unit, provided in section 15-6 d., below.

(ii) Residential Units that are located within properties designated as a "Problem Property" pursuant to Section 2-705 (a) (4) of this Code.

(iii) Residential Units that are the subject of three or more findings of violations of this section within a six (6) month period, or three or more violations of any municipal ordinance or state law or code relating to excessive noise, improper disposal of trash, disorderly conduct, or other similar conduct within a six (6) month period. Units found ineligible pursuant to this subsection shall remain ineligible for a six (6) month period immediately following the third violation.

(iv) Residential Units located within a property subject to any outstanding building, sanitary, zoning, or fire code violations, orders of abatement, stop work orders, unpaid taxes, water/sewer or tax liens, or other existing judgments or penalties imposed by the City so long as the matter remains unresolved. If a violation or other order is issued after the Residential Unit has been registered, ISD shall suspend the Residential Unit's registration until the violation has been cured or otherwise resolved.

15-5 Residential Units Not Subject to Certain Provisions of this Chapter.

a. **Currently Licensed Lodging Houses.** A Residential Unit offered as a Short-Term Rental that is located in a dwelling holding a current and valid Certificate of Occupancy as a lodging house from ISD and a lodging house license from the Salem Licensing Board as of the effective date of this section shall be subject to the registration and room occupancy excise tax requirements contained herein but shall not be subject to any limitation with respect to the number of days per year that a unit or units may be rented out as a Short-Term Rental.

b. **Existing Bed and Breakfasts.** A Residential Unit offered as a Short-Term Rental that holds a current and valid Certificate of Occupancy as a bed and breakfast from ISD as of the effective date of this section shall be subject to the registration and room occupancy excise tax requirements contained herein but shall not be subject to any limitation with respect to the number of days per year that a unit or units may be rented out as a Short-Term Rental.

c. **Residential Units Contracted for Hospital Stays.** The use of a dwelling unit or portion thereof for which a contract exists between the owner of the dwelling unit and a healthcare facility or government entity or non-profit organization registered as a charitable organization with the Secretary of the Commonwealth of Massachusetts or classified by the Internal Revenue Service as a public charity or private foundation that provides for the temporary housing in such unit of individuals who are being treated for trauma, injury, or disease, or their family members, shall not be considered a Short-Term Rental.

d. **Residential Units Used for Furnished Institutional or Business Stays.** The use of a Residential Unit for which a contract or an agreement exists between the building owner, a corporate housing operator and an institution or business for the temporary housing of employees or individuals affiliated with such institutions or business, where the minimum stay is at least ten days, shall not be considered a Short-Term Rental.

15-6 Requirements for Short-Term Rentals.

An Operator may only offer a Short-Term Rental subject to the following provisions:

a. **Registration** pursuant to Section 2-705. Consistent with Section 2-705, every new owner and/or Operator is required to complete a new registration form and obtain a new certificate of fitness prior to making the unit available as a Short-Term Rental.

b. **Short-Term Rental of a Home Share Unit.** An Operator may use his or her entire Home Share Unit as a Short-Term Rental without a limitation as to the number of days per year. Individual rooms within Home Share Units may not be offered as separate Short-Term Rentals.

c. **Short-Term Rental of a Limited Share Unit.** An Operator may use his or her Limited Share Unit as a Short-Term Rental without limitation as to the number of days per year.

d. **Short-Term Rental of a Non-Owner Occupied Unit.** An Operator may use his or her Non-Owner Occupied Unit as a Short-Term Rental only if the Operator was engaged in the Short-Term Rental of the property as of the date this Ordinance was filed with the Council and provided that the Operator obtains a Special Permit from the Zoning Board of Appeals. Qualifying Operators must petition for a Special Permit within 60 days of the date of passage of this Ordinance in order to be eligible for this exception. Rentals of Non-Owner Occupied Units must be for the entire unit; individual rooms within Non-Owner Occupied Units may not be offered as separate Short-Term Rentals. Non-Owner Occupied Units used for Short-Term Rental under this subsection shall be subject to section 36-6 of the ordinance and required to pay a trash fee, but shall not be eligible for a vacancy waiver pursuant to section 36-6 d.

e. **Short-Term Rental of an Owner-Adjacent Unit.** An Operator may use his or her Owner-Adjacent Unit as a Short-Term Rental without limitation as to the number of days per year. Rentals of Owner-Adjacent Units must be for the entire unit; individual rooms within Owner-Adjacent Units may not be offered as separate Short-Term Rentals.

f. **Permission of Owner.** An Operator must certify at the time of registration that he or she has the following permissions to offer his or her Residential Unit as a Short-Term Rental:

(i) Operator is the owner of the Residential Unit offered as a Short-Term Rental or is a tenant who uses the Residential Unit as his or her Primary Residence and has the permission of the Owner; and

(ii) that offering the Residential Unit as a Short-Term Rental complies with applicable condominium documents, bylaws, leases, or other governing documents.

g. Local Contact. When registering, an Operator must provide his or her name and contact information, and, in the event the Operator is not present during the Short-Term Rental, the name and contact information of an individual who is able to respond in person to any issues or emergencies that arise during the Short-Term Rental within two (2) hours of being notified. Contact information must include a telephone number that is active twenty-four (24) hours per day to tenants, Short-Term Rental occupants, and public safety agencies. This phone number shall be included in the registration of the Short-Term Rental unit at the time of registration.

h. Compliance and Interaction with Other Laws. The Operator shall comply with all applicable federal, state, and local laws and codes, including but not limited to the Fair Housing Act, G.L. c. 151B and Sec. 2-2055 of this Code, and all other regulations applicable to residential dwellings. The Residential Unit offered as a Short-Term Rental shall continue to be subject to the requirements of Sec. 2-705 of this Code to obtain a certificate of fitness and the applicable requirements of the State Sanitary Code. Occupancy limits contained in the Zoning Ordinance and the State Building and Sanitary Codes shall apply. A Residential Unit offered as a Short-Term Rental may also be subject to annual fire prevention inspection.

i. Retention of Records. The Operator shall retain and make available to ISD, upon written request, records to demonstrate compliance with this section, including but not limited to: records demonstrating number of months that Operator has resided or will reside in the Residential Unit and records showing that Operator is the owner or valid leaseholder of the Residential Unit offered as a Short-Term Rental. The Operator shall retain such records for a period of three years from the date the Residential Unit is last registered for a certificate of fitness inspection.

j. Notifications.

(i) The Operator shall furnish each guest with a Community Information Card containing, at a minimum, (a) emergency telephone numbers for the Salem Police Department and Salem Fire Department, (b) a description of the regulations, if any, relative to on-street parking at the address and fines for parking violations, (c) a description of the City's trash and recycling requirements, including the date of trash and recycling collection at the address, and (d) a copy of the City's noise ordinance. A current copy of the unit's Community Information Card should be furnished to the City at the time of registration or inspection. The Operator shall also post a sign on the inside of the Residential Unit providing information on the location of all fire extinguishers in the unit, and, if applicable, the location of all fire exits and pull fire alarms in the dwelling.

(ii) The Operator, upon listing a Short-Term Rental with a Booking Agent, or modifying an existing listing shall file with the City an exact duplicate of the listing, including property address. Listings must specify the quantity of off-street parking, if any, and whether or not the address is located in a resident-parking zone, including the October resident-parking zone. The City shall maintain a list of the address and unit type of all short-term rentals on file with the City that are currently being offered.

(iii) The Operator must have on file with the City the name and contact information for the Operator if local or, if not local, the name and telephone number of an individual who can respond in person to any issues or emergencies at the property within two hours of being notified.

(iv) A Booking Agent with any listings in the City shall provide to the City on a quarterly basis an electronic report, in a format to be determined by the City. The report shall include a breakdown of where the listings are located, whether the listing is for a room or a whole unit, the number of nights each unit was reported as occupied during the applicable reporting period, and the Operator's name and full contact information

15-7 Room Occupancy Excise.

Any Short-Term Rental Units to which the Commonwealth extends any excise or surcharge, and the City extends a local option of such, shall comply with the provisions of said statutes. However, where allowable operators may use a Booking Agent and the Booking Agent may enter into an agreement with the City for the collection and remittance of such tax. If the Operator does not use a Booking Agent to do so, the Operator is solely responsible for collecting and remitting the applicable tax.

15-8 Complaint Process; Violations.

Complaints shall be made to the Inspectional Services Department and investigation shall commence within 30 days. Violations may, at the Building Inspector's discretion, result in a warning or an Ordinance ticket and the maximum appropriate fine. Three (3) or more such tickets within a six (6) month period will result in the unit no longer being eligible to that Operator for use as a short-term rental for a period of six (6) months following the most recent violation.

Violations may include any failure to abide by this ordinance including, but not limited to, offering an ineligible unit, failure to furnish copy of Booking Agent listing or include required parking information in such listing, failure to furnish a Community Information Card to guests or furnishing one without the required minimum information, or failure to remit any required excise tax or surcharge as required by law. Unpaid taxes or surcharges shall also be liened against the property.

15-9 Enforcement.

a. **Enforcement by City.** The provisions of this section may be enforced in accordance with the noncriminal disposition process of M.G.L. c. 40, § 21D, and, if applicable, by seeking to restrain a violation by injunction. A violation of this section shall be sufficient cause for revocation of the right to operate the Short-Term Rental and/or a penalty by a non-criminal disposition, as provided in M.G.L. c. 40, § 21D, in an amount set forth in section 1-10 of this Code. Any person aggrieved by the revocation of the right to operate a Short-Term Rental or the imposition of a penalty may file an appeal as provided by the general laws.

b. **Enforcement by Booking Agent.** The City shall enter into agreements with Booking Agents for assistance in enforcing the provisions of this section, including but not limited to an agreement, whereby the Booking Agent agrees to remove a listing from its platform that is deemed ineligible for use as a Short-Term Rental under the provisions of this Ordinance and whereby the Booking Agent agrees to prohibit a host from listing any Short-Term Rental without proof of registration.

Any Booking Agent that fails to enter into such agreements to actively prevent, remove or de-list any ineligible listings shall be prohibited from conducting business in the City.

c. **Featured Short-Term Rental Status.** An Operator who is able to certify that there are no health, building, zoning, or other violations (including police citations) in the prior twelve (12) months associated with the property, is current on all excise and property taxes, and who has filed the Booking Agent listing and a copy of the Community Information Card with the City for the past twelve (12) months, shall be eligible for listing as a 'Featured Short-Term Rental.'

15-10 Severability.

If any provision of this section is invalidated by subsequent legislation or regulation, or held to be invalid by a court of competent jurisdiction, then such provision shall be considered separately and apart from the remaining provisions, which shall remain in full force and effect"

SECTION 2.

This ordinance shall take effect as provided by City Charter with the implementation date of April 15, 2019

In City Council July 19, 2018

Referred to the Committee on Ordinances, Licenses and Legal Affairs co-posted with the Committee of the Whole

In City Council September 13, 2018

Adopted as amended for first passage

ATTEST:

ILENE SIMONS
CITY CLERK

City of Salem

In the year Two Thousand and Eighteen

An Ordinance to amend the ordinance to set fines for violation of short-term rentals ordinance in the City of Salem.

Be it ordained by the City Council of the City of Salem, as follows:

AN ORDINANCE TO AMEND THE ORDINANCE TO INCLUDE FINES FOR VIOLATIONS OF THE SHORT-TERM RESIDENTIAL RENTAL ORDINANCE IN THE CITY OF SALEM

SECTION 1. An amendment to the City of Salem Code, Ordinances, PART II, CHAPTER 1, Sec. 1-10 (c). - *Noncriminal disposition of ordinance violations* is hereby enacted as follows:

“CHAPTER 15 SHORT-TERM RESIDENTIAL RENTALS:

Sections 15-1 through 15-9, Violations of Short-Term Rental Ordinance.

Penalty:

First offense	\$ 50.00
Second offense	\$150.00
Third and all subsequent offenses	\$300.00

Enforcing persons: Building inspector(s), board of health personnel, and police department personnel.”

SECTION 2. This ordinance shall take effect as provided by City Charter.

In City Council July 19, 2018

Referred to the Committee on Ordinances, Licenses and Legal Affairs coposted with the Committee of the Whole

In City Council September 13, 2018

Adopted as amended for first passage

ATTEST:

ILENE SIMONS
CITY CLERK

CITY OF SALEM

In the year two thousand and Eighteen

An Ordinance to Amend an Ordinance relative to Traffic, Ch. 42 Sec. 10 "One Way Streets"

Be it Ordained by the City Council of the City of Salem, as follows:

Section 1. Ch. 42, Section 10 is hereby amended by adding the following:

Brown Street – One Way Streets – from opposite 2 Brown Street to Washington Square West, one way in an easterly direction, with two dedicated turn lanes, one to turn right and one to turn left

Washington Square North – One Way Streets – from 19 ½ Washington Square North to 2 Brown Street, one way in a southwesterly direction.

Section 2. This Ordinance shall take effect as provided by City Charter

In City Council September 13, 2018
Adopted for first passage as amended

ATTEST:

ILENE SIMONS
CITY CLERK

City of Salem

In the year two thousand and Eighteen.

An Ordinance to amend an Ordinance relative to Traffic, Chapter 42, Section 11, "Bus Stops"

Be it ordained by the City Council of the City of Salem, as follows:

Section 1. Chapter 42, Section 11- "Bus Stops" is hereby amended by repealing the following:

Washington Street – Bus Stops – easterly side, from a point beginning on the southerly side of Federal Street and Washington Street and proceeding thirty (30) feet in a southerly direction.

Washington Street – Bus Stops – easterly side, from a point beginning twenty (20) feet from the southerly side of Federal Street in a southerly direction to a point located twenty (20) feet from the northerly side of Church Street.

Section 2. Chapter 42, Section 56 "Parking Meter Zones Established" be amended by repealing the following:

Washington Street – Parking Meter Zones Established – easterly side, from Church Street to Essex Street. Four (4) hour parking.

And replacing with the following:

Washington Street – Parking Meter Zones Established – easterly side, from a point beginning sixty (60) feet north of Federal Street to Essex Street. Four (4) hour parking.

SECTION 3. This ordinance shall take effect as provided by City Charter

In City Council September 13, 2018
Adopted for first passage

ATTEST:

ILENE SIMONS
CITY CLERK

City of Salem

In the year two thousand and Eighteen

An Ordinance to amend an Ordinance relative to Traffic, Chapter 42, Section 57A, "Parking Time Limited: Unmetered Zones"

Be it ordained by the City Council of the City of Salem, as follows:

Section 1. Chapter 42, Section 57A- "Parking Time Limited: Unmetered Zones" is hereby amended by repealing the following:

Loring Avenue – Parking Time Limited: Unmetered Zones – southeasterly side beginning at a point of forty (40) feet north of College Drive and continuing to the intersection of Linden Street and the marked crosswalk, excluding existing marked bus stops and handicap zones. Fifteen (15) minute parking only tow zone, Monday through Friday 7:00 A.M. to 4:00 P.M., or by special permit only issued by the Horace Mann Laboratory School (HMLS).

And inserting in place thereof:

Loring Avenue – Parking Time Limited: Unmetered Zones – southeasterly side beginning at a point of forty (40) feet north of College Drive and continuing to the intersection of Linden Street and the marked crosswalk, excluding existing marked bus stops and handicap zones. Four (4) hour parking as marked by signs, Monday through Friday, 8:00 A.M. to 8:00 P.M.

SECTION 2. This ordinance shall take effect as provided by City Charter

In City Council September 13, 2018
Adopted for first passage

ATTEST:

ILENE SIMONS
CITY CLERK

CITY OF SALEM

In the year two thousand and Eighteen

An Ordinance to amend an Ordinance relative to traffic Ch. 42 Sec. 11 "Bus Stops "

Be it Ordained by the City Council of the City of Salem, as follows:

Section 1. Ch. 42, Sec.11 Bus Stops is hereby amended by repealing the following:

Congress Street Bridge – Bus Stops – outbound, southeasterly direction for a distance of one hundred sixty (160) feet starting at the beginning of the Bridge curbing. Near 26 Congress Street. Tour Bus Parking only, Tow Zone.

And replacing it with

Congress Street Bridge – Bus Stops – outbound, southeasterly direction for a distance of one hundred sixty (160) feet starting one hundred fifty (150) feet from the beginning of the Bridge curbing. Tour Bus Parking only, Tow Zone.

Section 2. Ch. 42, Sec. 11 Bus Stops is hereby amended by adding the following:

Congress Street – Bus Stop – Inbound, northwesterly direction for a distance of fifty (50) feet beginning eighty-six (86) feet from the intersection of Peabody Street. Tour Bus Parking Only. Tow Zone. Seasonal, October 1st to November 2nd

Section 3. This Ordinance shall take effect as provided by City Charter

In City Council September 13, 2018
Adopted for first passage as amended

ATTEST:

ILENE SIMONS
CITY CLERK