

Salem Fire Department - Bathroom Renovations

48 Lafayette St, Salem, MA 01970

IFB Project # 24-23-FIR

Owner:

Salem Fire Department
48 Lafayette
Salem, MA 01970
Phone: 978-744-1235

Architect:

Seger Architects, Inc.
83 North Street
Salem, MA 01970
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PROJECT ARCHITECT

SEAL

SALEM FIRE
DEPARTMENT
48 Lafayette St,
Salem, MA, 01970

PROJECT INFORMATION

CONSULTANT INFORMATION

OWNER INFORMATION

No.	Description	Date
1	Bid Revision 1	10.24.23

PROJECT REVISIONS

Job No.:	2023-005
Date:	October 4, 2023
Scale:	As Noted
Designed By:	JAS
Drawn By:	SL
Checked By:	JAS
Approved By:	JAS
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Cover
SHEET NAME
Cover
SHEET NO.





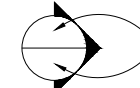




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PROJECT INFORMATION

PROJECT:	SALEM DEPT. BATHROOM REMODEL
LOCATION:	48 LAFAYETTE STREET, SALEM, MA 01970
EXISTING BUILDING:	FIRE STATION
DESCRIPTION OF WORK:	REMODEL OF EXISTING 1ST FLOOR W. BATHROOM INTO ADA ACCESSIBLE UNISEX BATHROOM REMODEL OF EXISTING 2ND FLOOR W. BATHROOM TO INCLUDE SHOWER & LOCKERS

SYMBOLS

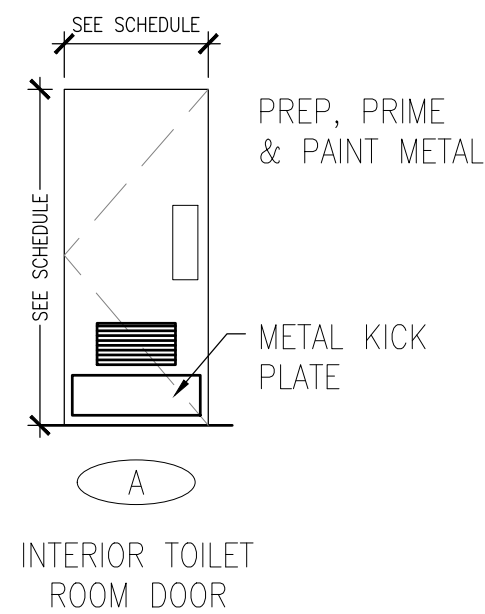
	ELEVATION KEY SHEET NUMBER		DOOR NUMBER
	BUILDING SECTION KEY SHEET NUMBER		ROOM NUMBER
	DETAIL NUMBER SHEET NUMBER		REVISION # SYMBOL
	PARTITION TYPE		ELEVATION TARGET
			RECESSED FIRE EXTINGUISHER CABINET

GENERAL NOTES

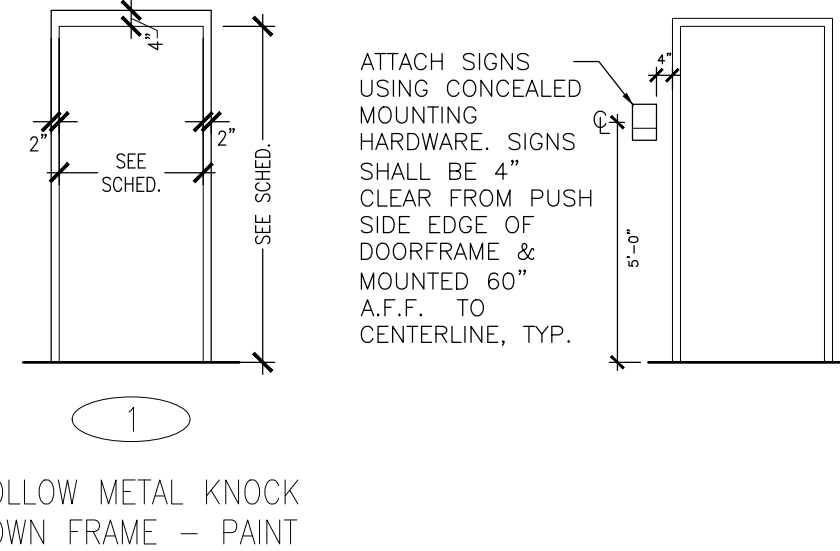
- These documents are the property of the architect and shall not be copied, duplicated, altered, modified or revised in any way without the expressed written approval of the architect.
- To the best of the architects' knowledge these construction documents are in conformance with the requirements of the building authorities having jurisdiction over this type of construction and occupancy.
- It is the intent of the architect to delineate these documents as accurate as possible for the purpose of graphic representation. Do not "scale" these documents. The dimensions shown are to take precedence over scaling the documents. The general contractor shall take full responsibility for any incorrect work and any repair of said work as a result of scaling the documents.
- All work performed by the general contractor shall comply and conform with local and state building codes, ordinances and regulations, along with all other authorities having jurisdiction. The general contractor is responsible to be aware of these requirements and governing regulations.
- The general contractor shall thoroughly review and become familiar with these documents. Upon review, the general contractor shall document and notify the architect of any errors, omissions, discrepancies and / or inconsistencies prior to the start of any portion of the proposed work. The architect shall review the proposed corrections after the receipt of notification. The discovery of discrepancies and / or conflicts after the start of work shall be the full responsibility of the general contractor to repair or replace.
- The general contractor shall be responsible for the correction of any errors, omissions, discrepancies and / or inconsistencies which have not been brought to the architects' attention.
- The general contractor shall accept the premises as is, in its current state. The owner shall assume no responsibility for the condition of the existing site, and its contents, at the time of bidding or thereafter.
- The general contractor shall field verify all existing site conditions, along with dimensions and elevations, prior to the start of any portion of the work. All findings, discrepancies and concerns shall be brought to the owners' attention in written format.
- The general contractor shall be responsible for all work and materials represented on these documents including the work and materials furnished by subcontractors and vendors.
- Deviations from these documents in the construction phase shall be reviewed by the architect and the owner prior to the start of work in question. Any deviations from these documents without prior review, shall be the sole responsibility of the general contractor.
- It is the sole responsibility of the general contractor to determine erection procedure, means and methods and sequence of construction.
- The general contractor is responsible to produce and comply with an approved construction schedule acceptable to the owner's expectations.
- Shop drawing review and distribution, along with product submittals, requested in the construction documents, shall be the sole responsibility of the general contractor, unless directed otherwise under a separate agreement.
- The architect shall not accept, or review any request for shop drawing review and / or stamp without the review and stamp of the general contractor clearly shown on the documents.
- Coordination: It shall be the responsibility of the contractor to check and coordinate all the drawings before fabrication and/or installation of any work. The contractor shall immediately notify the architect and engineers of any discrepancies or errors.
- Legend: All symbols and abbreviations used on the drawings are considered construction standards. If the contractor has any questions regarding the same or their exact meaning, the architect and engineer shall be notified in writing for clarification.
- Precedence: Dimensions shall have precedence over scale. Larger scale drawings have precedence over smaller scale drawings.

CONSTRUCTION NOTES

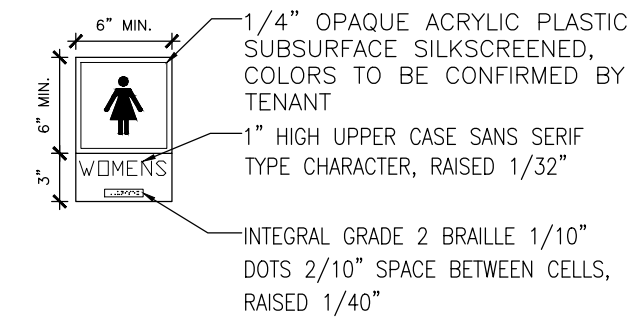
- ALL WORK SHALL CONFORM TO LATEST EDITION OF STATE AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
- BEFORE STARTING FRAMING OF PARTITIONS, THE GENERAL CONTRACTOR SHOULD LAY OUT THE PARTITIONS ON THE FLOOR AND CONTACT THE ARCHITECT (MIN. 24 HOURS PRIOR) TO MAKE A FIELD VISIT AND VERIFY THE LAYOUT. WORK THAT PROCEEDS WITHOUT VERIFICATION IS AT THE CONTRACTOR'S OWN RISK. COSTS OF ANY CHANGES REQUIRED BY THE ARCHITECT OF SAID WORK SHALL BE SOLELY BORNE BY THE CONTRACTOR.
- ALL CONFLICTS AND ITEMS FOR CLARIFICATION SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO AFFECTING WORK IN THAT AREA.
- IF VARIANCE FROM THE EXISTING DRAWING OCCURS, NOTIFY THE ARCHITECT PRIOR TO COMMENCING ANY RELATED WORK.
- THE DRAWINGS DEPICT ONLY GENERALLY THE EXISTING CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXACT QUANTITY TAKEOFFS BASED ON FIELD OBSERVATIONS.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF REQUIRED BLOCKING IN WALLS TO RECEIVE SHELVING, CABINETS, TELEVISIONS, MAJOR ARTWORK, COAT RODS, OR OTHER WALL MOUNTED APPARATUS. WHERE CONCEALED WOOD BLOCKING OR FRAMING IS REQUIRED, CONTRACTOR SHALL ONLY USE FIRE-RETARDANT TREATED WOOD.
- WHERE FIRE RATED AND FULL HEIGHT PARTITIONS ARE PENETRATED BY STRUCTURAL MEMBERS, DUCTWORK, PIPING, AND/OR CONDUIT, THE WALL BOARD SHALL BE SCRIBED TO FIT TIGHT AGAINST THE PENETRATING ITEM, AND CAULKED WITH THE APPROPRIATE SEALANT. COORDINATE WITH MEP WORK AND DETAILS.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH DOOR AND GWB SUBS FOR FIT OF NEW FRAMES AT PARTITIONS SO NO GAP OCCURS - CONTRACTOR TO VERIFY THROAT SIZE.
- REFER TO SPECIFICATIONS FOR DEMOLITION REQUIREMENTS.



1 Door Type
SCALE: 1/4"=1'-0"



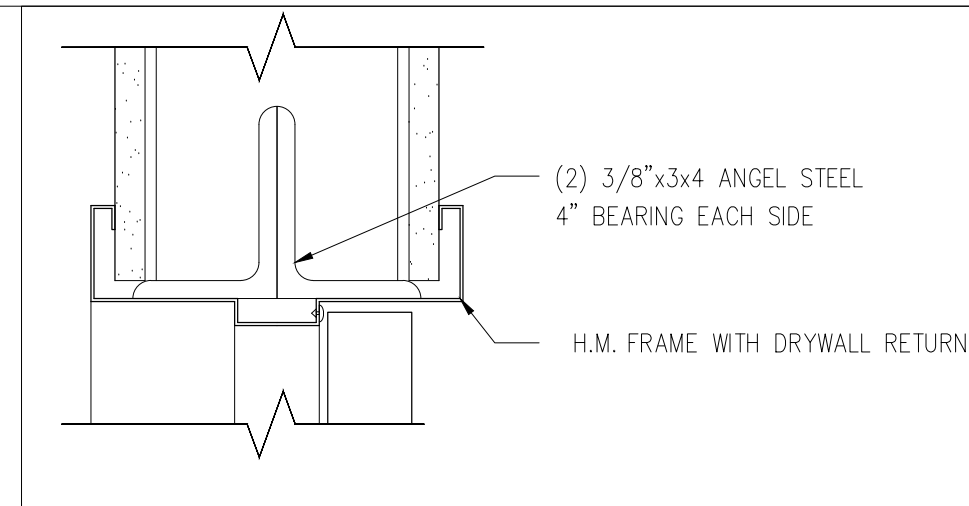
2 Frame Type
SCALE: 1/4"=1'-0"



4 Signage Detail
SCALE: N.T.S.

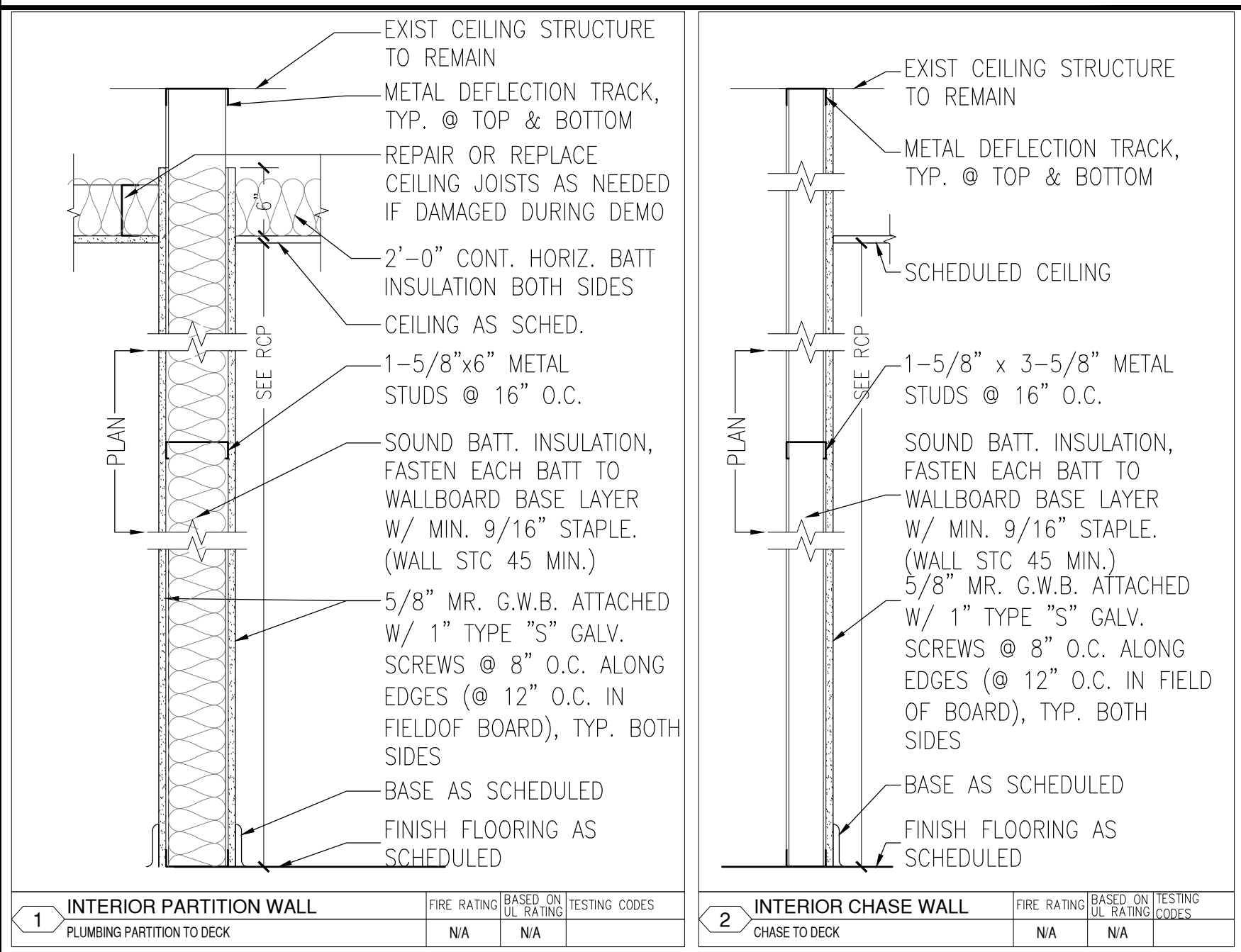
DOOR SCHEDULE

#	DOOR					FRAME			HARDWARE SET	REMARKS
	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH		
FIRST FLOOR										
001	3'-0"	6'-8"	A	METAL	PAINT	A		PAINT	EXIST	W/ 20"x12" LOUVER



5 DOOR HEADER DETAIL
SCALE: 3/8"=1'-0"

WALL PARTITION SCHEDULE



#	DESCRIPTION	FIRE RATING	BASED ON UL RATING	TESTING CODES
1	INTERIOR PARTITION WALL PLUMBING PARTITION TO DECK	N/A	N/A	
2	INTERIOR CHASE WALL CHASE TO DECK	N/A	N/A	

NOTE: REFER TO COLD FORMED STEEL MANUFACTURER FOR INSTALLATION INSTRUCTIONS AND REQUIREMENTS FOR ALL LIGHT GAGE METAL FRAMING

FINISH SCHEDULE

FLOOR FINISHES	BASES	WALL FINISHES	CEILING FINISHES
F1 - POURED EPOXY FLOORING COLOR: T.B.D. F2 - CARPET TILE (PROVIDED BY SFD)	B1 - POURED EPOXY COVE BASE, COLOR TO MATCH FLOOR B2 - RUBBER COVE BASE	W1 - PTD GWB W2 - PTD MR GWB W3 - NOT USED W4 - EXIST WALL PTD	C1 - PAINTED MOISTURE RESISTANT GWB C2 - PATCH & PAINT ACOUSTIC TILE SYSTEM MATCH EXIST.

NOTE:

ROOM #	ROOM NAME / TYPE	FLOOR FINISH	BASE	WALL FINISH	CEILING FINISH	CEILING HEIGHT	REMARKS
FIRST FLOOR							
101	UNISEX	F1	B1	W2	C1	±8'-2"	
102	OFFICE	F2	B2	W1/W4	C2	±8'-6"	PAINT EXISTING WALLS
SECOND FLOOR							
201	WOMEN	F1	B1	W2	C1	±8'-0"	
202	OFFICE	EX	EX	W1/W4	C2	±8'-4"	PAINT EXISTING WALLS

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NOTES & SCHEDULES

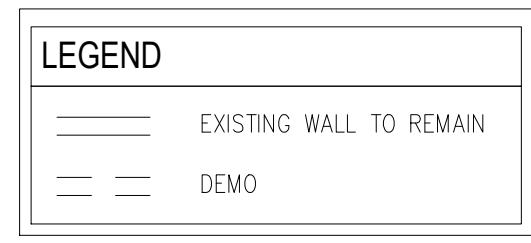
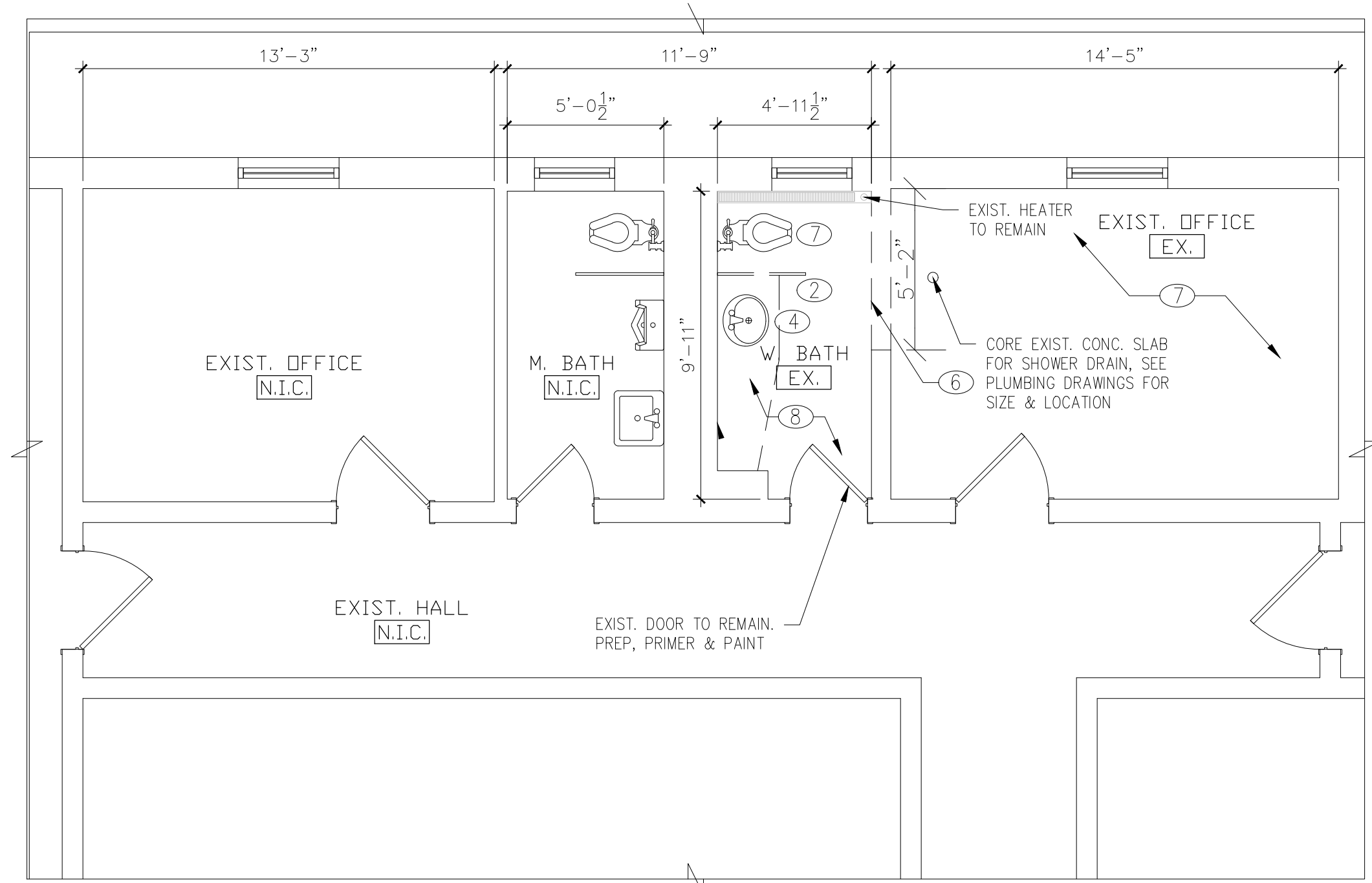
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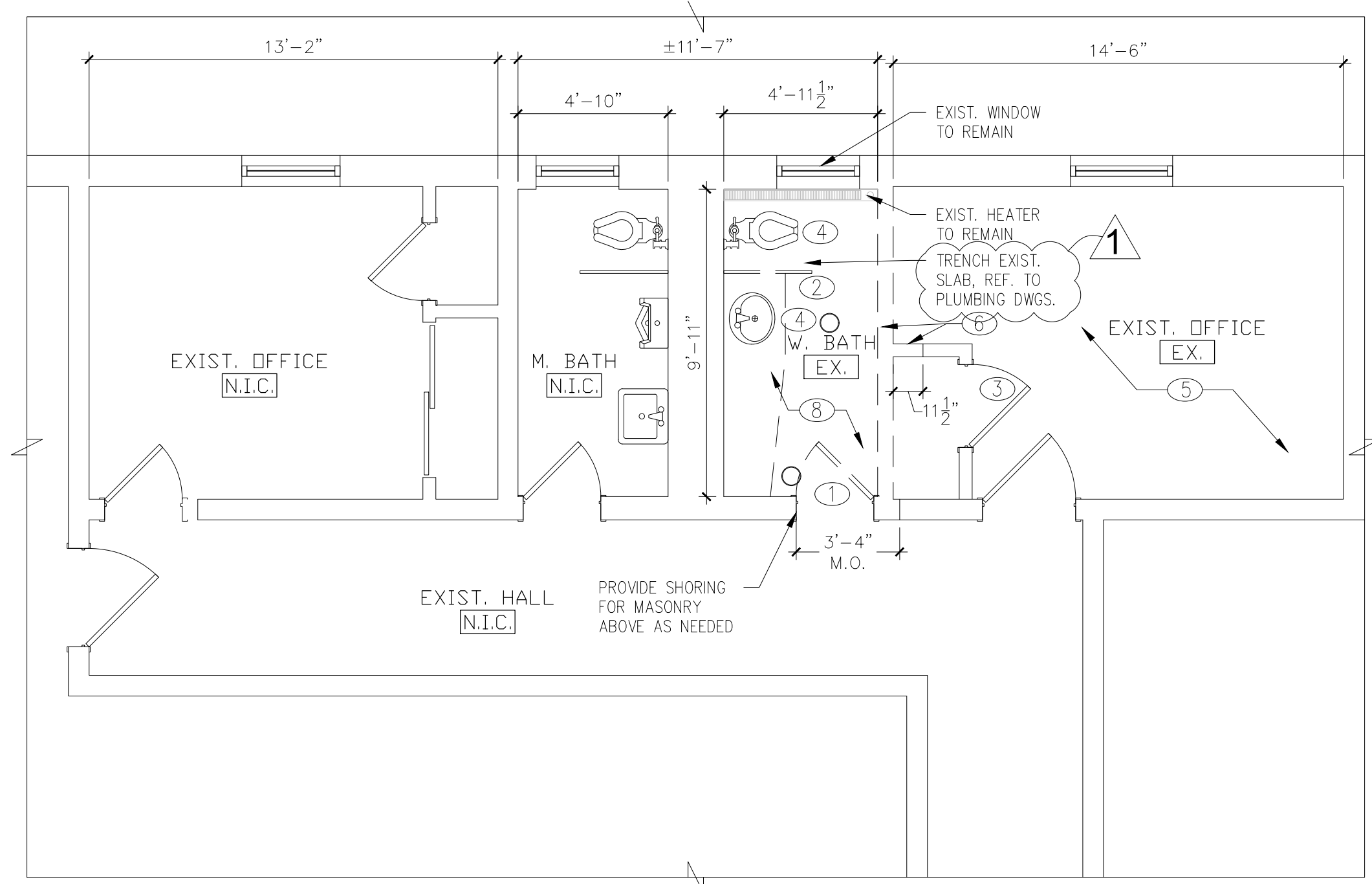
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DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE DONE AS PER THE DRAWINGS AND ASSOCIATED NOTES. ANY WORK COMPLETED THAT CONTRADICTS THE DRAWINGS AND NOTES WILL BE SOLELY BORNE BY THE DEMOLITION CONTRACTOR.
2. REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN THE OWNER'S PROPERTY.
3. EXISTING TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION.
4. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN THE OWNER'S PROPERTY, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE WITH FURTHER DISPOSITION AT THE CONTRACTOR'S OPTION.
5. WHEN DISPOSING OF MATERIAL, SEPARATE CONTENTS INTO RECYCLE CONTAINERS PRIOR TO DELIVERY TO LANDFILL.
6. CONTRACTOR SHALL VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
7. COORDINATE WITH ELECTRICAL SUBCONTRACTOR WITH RESPECT TO ELECTRICAL DEMOLITION AND DE-ENERGIZING OF PARTICULAR PORTIONS OF THE BUILDING.
8. INVENTORY AND RECORD THE CONDITION OF ITEMS TO BE REMOVED AND REINSTALLED, AND ITEMS TO BE REMOVED AND SALVAGED.
9. IF UNANTICIPATED EXISTING BUILDING ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF THE CONFLICT. PROMPTLY SUBMIT A WRITTEN REPORT TO THE ARCHITECT.
10. SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE DEMOLITION. G.C. IS RESPONSIBLE FOR SHORING IF REQUIRED.
11. MAINTAIN EXISTING UTILITIES THAT ARE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
12. UTILITY REQUIREMENTS: COORDINATE WITH MECHANICAL AND ELECTRICAL WORK FOR SHUTTING OFF, DISCONNECTING, REMOVING, AND SEALING OR CAPPING UTILITY SERVICES. DO NOT START SELECTIVE DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
13. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF SELECTIVE DEMOLITION.
14. ALL DEMOLITION ACTIVITIES WILL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ENVIRONMENTAL REGULATIONS.
15. NEATLY SAW CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES, USE HAND OR SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING AND CHOPPING. TEMPORARILY COVER OPENINGS TO REMAIN.
16. PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS.
17. WHERE REPAIRS TO EXISTING SURFACES ARE REQUIRED, PATCH TO PRODUCE SURFACES SUITABLE FOR NEW MATERIALS.
18. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO ADJOINING CONSTRUCTION TO REMAIN IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.
19. EXCEPT WHERE OTHERWISE NOTED, TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM TO LANDFILL OR RECYCLING FACILITY PERMITTED TO ACCEPT TYPE OF WASTE.
20. SWEEP THE BUILDING BROOM CLEAN UPON COMPLETION OF SELECTIVE DEMOLITION OPERATION.



Demo Second Floor Plan
SCALE: 1/4" = 1'-0"
Called



Demo First Floor Plan
SCALE: 1/4" = 1'-0"
Called

- DEMOLITION KEY NOTES**
- ① REMOVE & DISPOSE OF DOOR & FRAME IN IT'S ENTIRETY
 - ② REMOVE & DISPOSE OF EXISTING WALL TILES & GWB IN IT'S ENTIRETY PREP WALLS FOR FINISHED PER SCHEDULE
 - ③ REMOVE & DISPOSE OF EXISTING TROFFER LIGHT
 - ④ REMOVE & DISPOSE OF EXISTING PLUMBING FIXTURES & VANITY
 - ⑤ REMOVE & DISPOSE OF EXIST. CARPET, PREP FLOOR & INSTALL CARPET TILE (CARPET TILE WILL BE PROVIDED BY OWNER)
 - ⑥ REMOVE & DISPOSE OF EXISTING CMU WALL
 - ⑦ REMOVE & STORE EXIST. TOILET FOR FUTURE INSTALLATION.
 - ⑧ REMOVE & DISPOSE OF EXISTING FLOOR & BASE TILE IN IT'S ENTIRETY, PREP FLOOR FOR FINISHED SCHEDULE

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DEMOLITION

SHEET NAME

D-1.1

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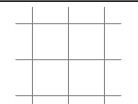
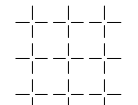
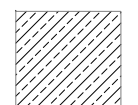
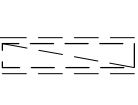
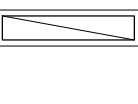


**R.C.P.
DEMO**

SHEET NAME

D-1.2

SHEET NO.

CEILING DEMOLITION LEGEND

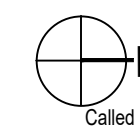
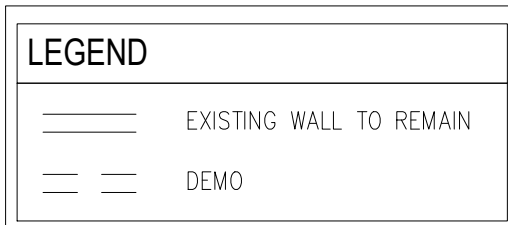
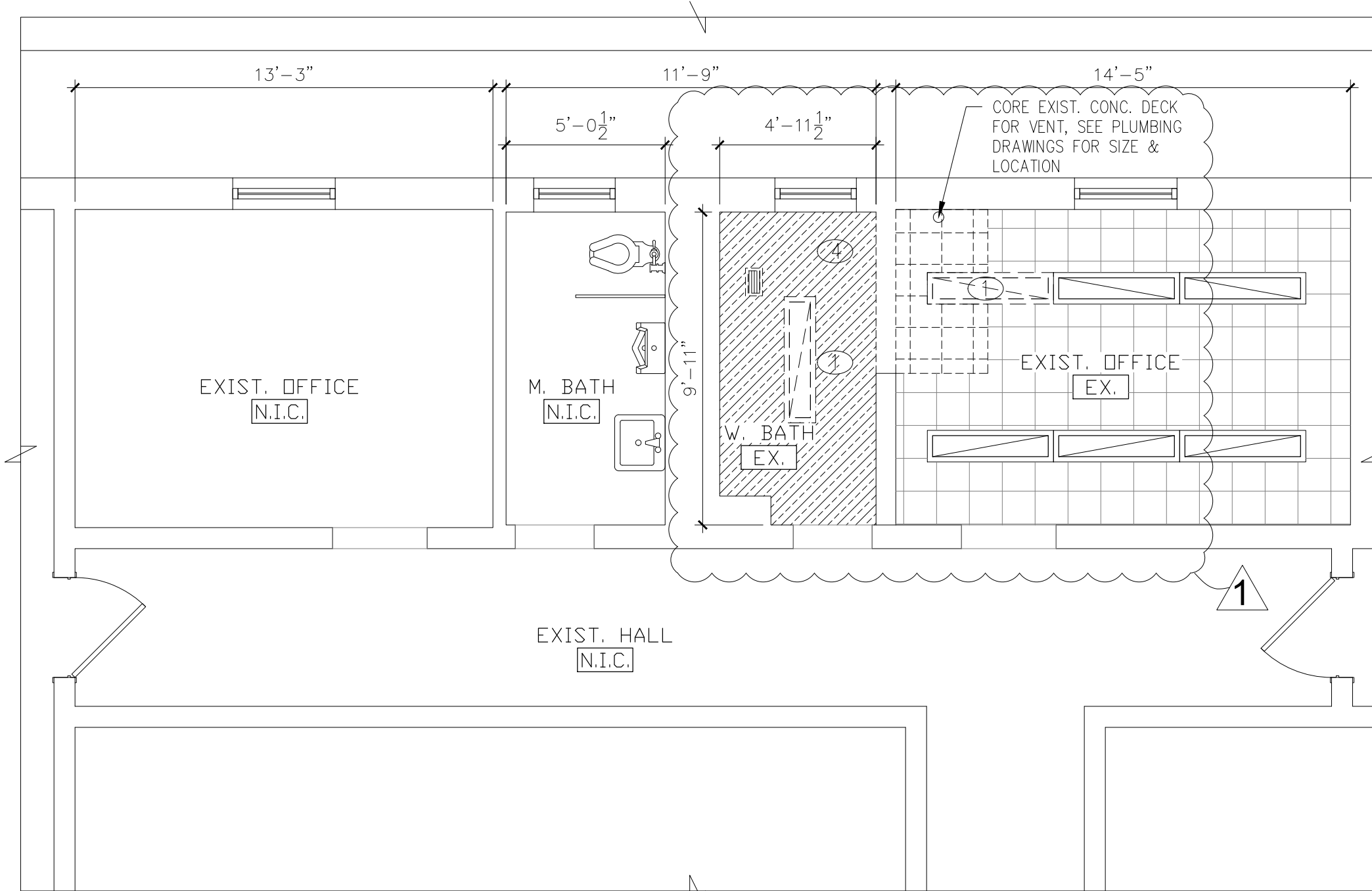
-  EXISTING ACOUSTICAL CEILING GRID AND TILES, REMOVE & REPLACE DAMAGED CEILING TILES IN KIND, REPAIR GRID AS NEEDED
-  EXISTING ACOUSTICAL CEILING GRID AND TILES TO BE REMOVED AND DISPOSED OF
-  EXISTING GWB CEILING TO BE REMOVED
-  EXISTING GRID LIGHT FIXTURE TO BE REMOVED
-  EXISTING GRID LIGHT FIXTURES TO REMAIN
-  REMOVE EXIST. VENT COVER, PREP VENT FOR FAN/LIGHT COMBO INSTALLATION
-  DEMOLITION KEY NOTE DESIGNATION

CEILING DEMOLITION KEY NOTES

- ① EXISTING LIGHT FIXTURES TO BE REMOVED AND DISPOSED OF, U.N.O. SAVE WIRING FOR FUTURE USE. NOTE: DISPOSE OF FIXTURE UNIT AFTER PROPERLY RECYCLING BALLASTS AND BULBS.
- ② EXISTING ACOUSTIC CEILING GRID TO BE REMOVED AND DISPOSED OF.
- ③ GRID TO REMAIN. AREAS OF PARTIAL REMOVAL TO ACCOMMODATE FUTURE CONSTRUCTION DESIGNATED BY HATCH ON PLANS.
- ④ EXISTING GWB CEILING TO BE REMOVED. REPAIR OR REPLACE CEILING JOISTS AS NEEDED

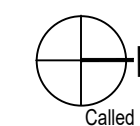
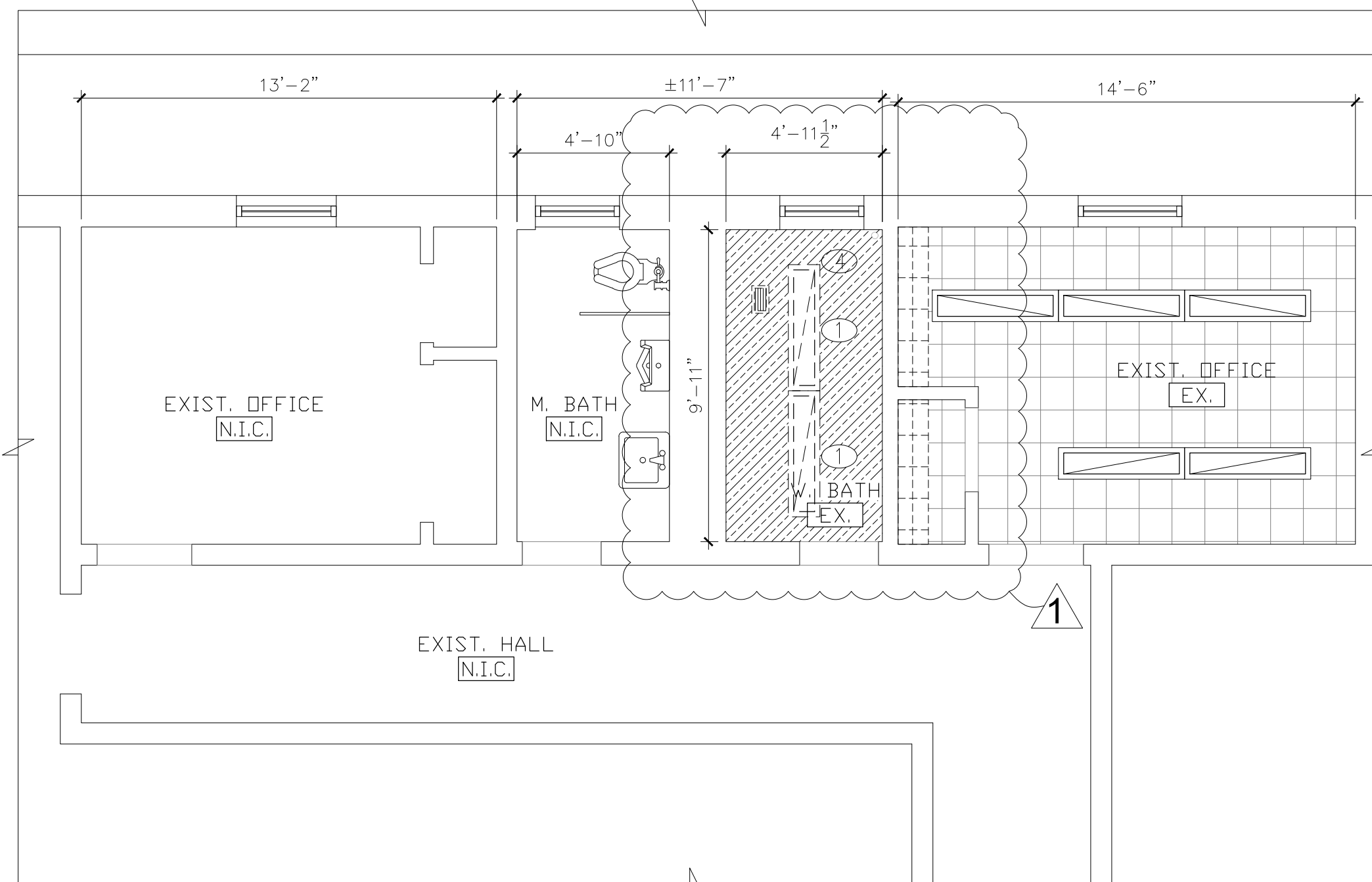
CEILING DEMOLITION NOTES

1. FOR ALL HATCHED AREAS DESIGNATED AS AREAS OF CEILING WORK, CAREFULLY REMOVE GRID AS SHOWN, AND ADD HANGER WIRE TO SUPPORT GRID TO REMAIN. GRID TO BE REUSED AND ADDED ON TO IN FUTURE WORK.
2. HVAC DIFFUSERS SHOWN ON DEMOLITION PLAN ONLY REFER TO THE FINISH COMPONENT SITTING IN GRID. BE SURE NOT TO DAMAGE DUCTWORK IN REMOVAL OF DIFFUSERS.
3. REFER TO ENGINEERING DRAWINGS FOR EXTENT OF ELECTRICAL, HVAC, PLUMBING, AND SPRINKLER WORK TO BE REMOVED OR RELOCATED. ANY INFORMATION SHOWN ON ARCHITECTURAL PLANS IS USED AS APPROXIMATE REPRESENTATION FOR COORDINATION PURPOSES ONLY.
4. REPAIR OR REPLACE CEILING JOISTS AS NEEDED IF DAMAGED DURING DEMO



Demo Second Floor RCP

SCALE: 1/4" = 1'-0"



Demo First Floor RCP

SCALE: 1/4" = 1'-0"

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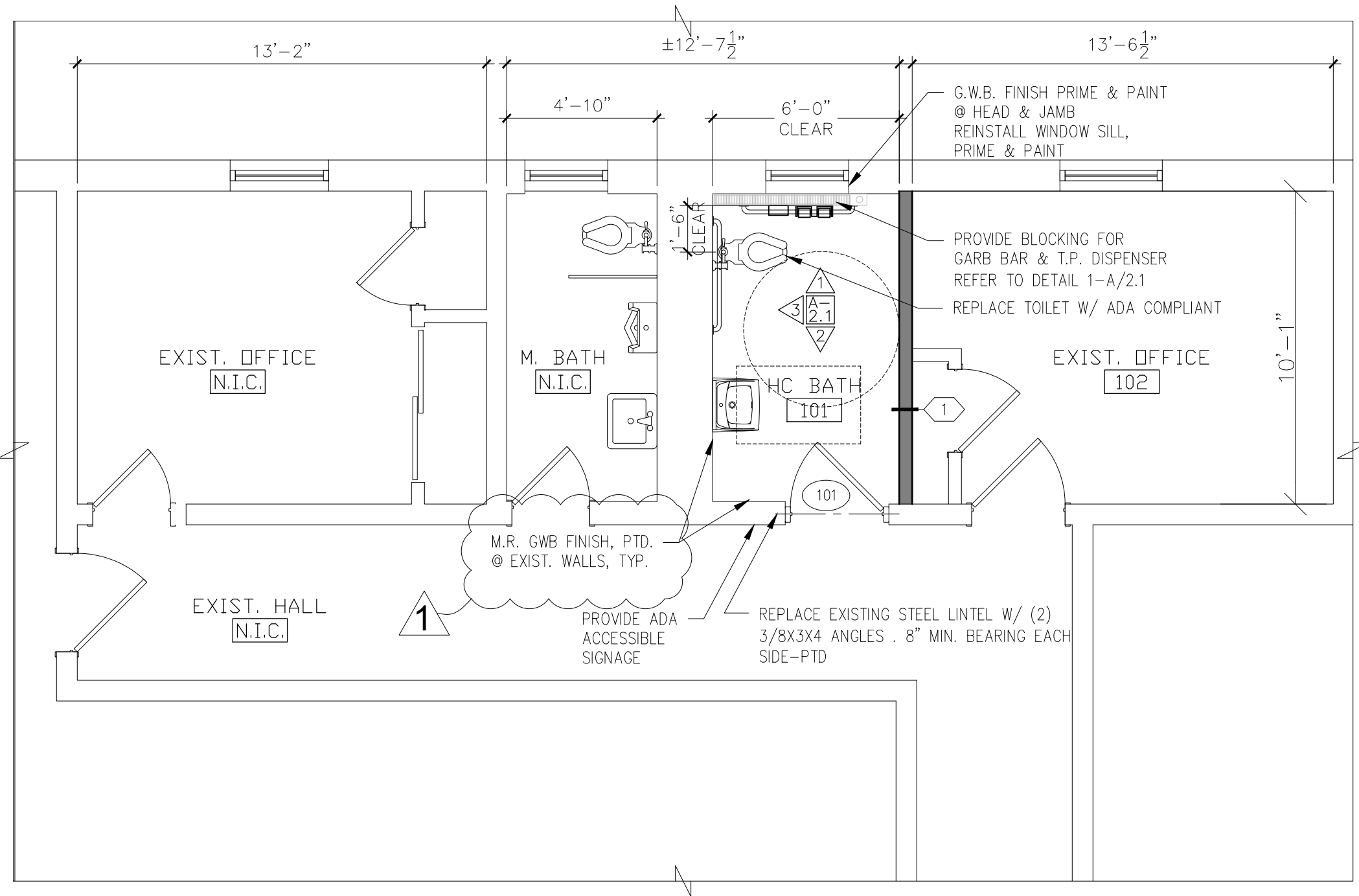
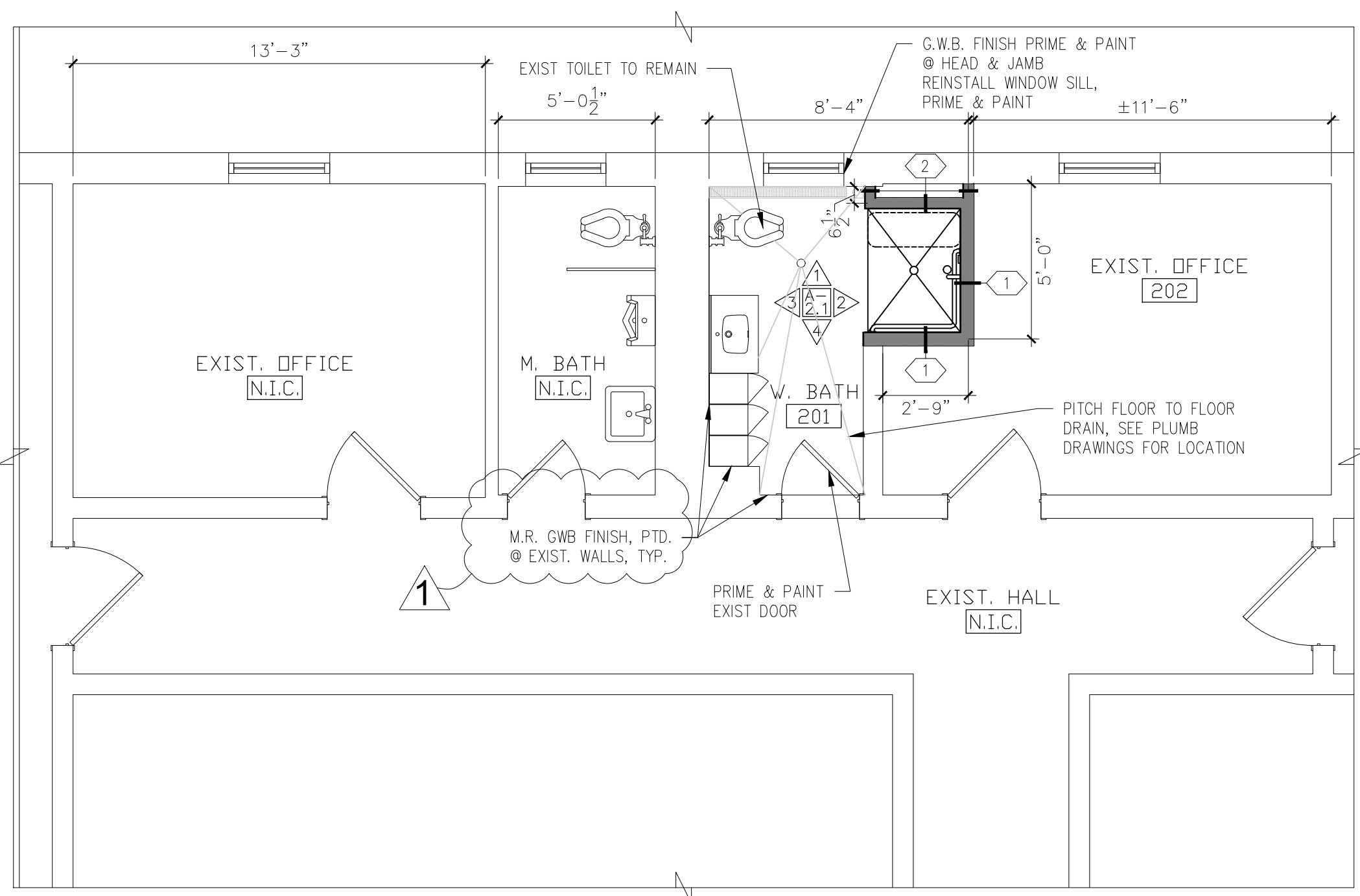
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FLOOR PLANS

SHEET NAME

A-1.1

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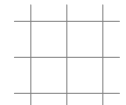
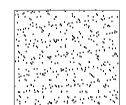


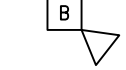
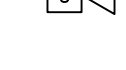
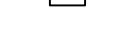
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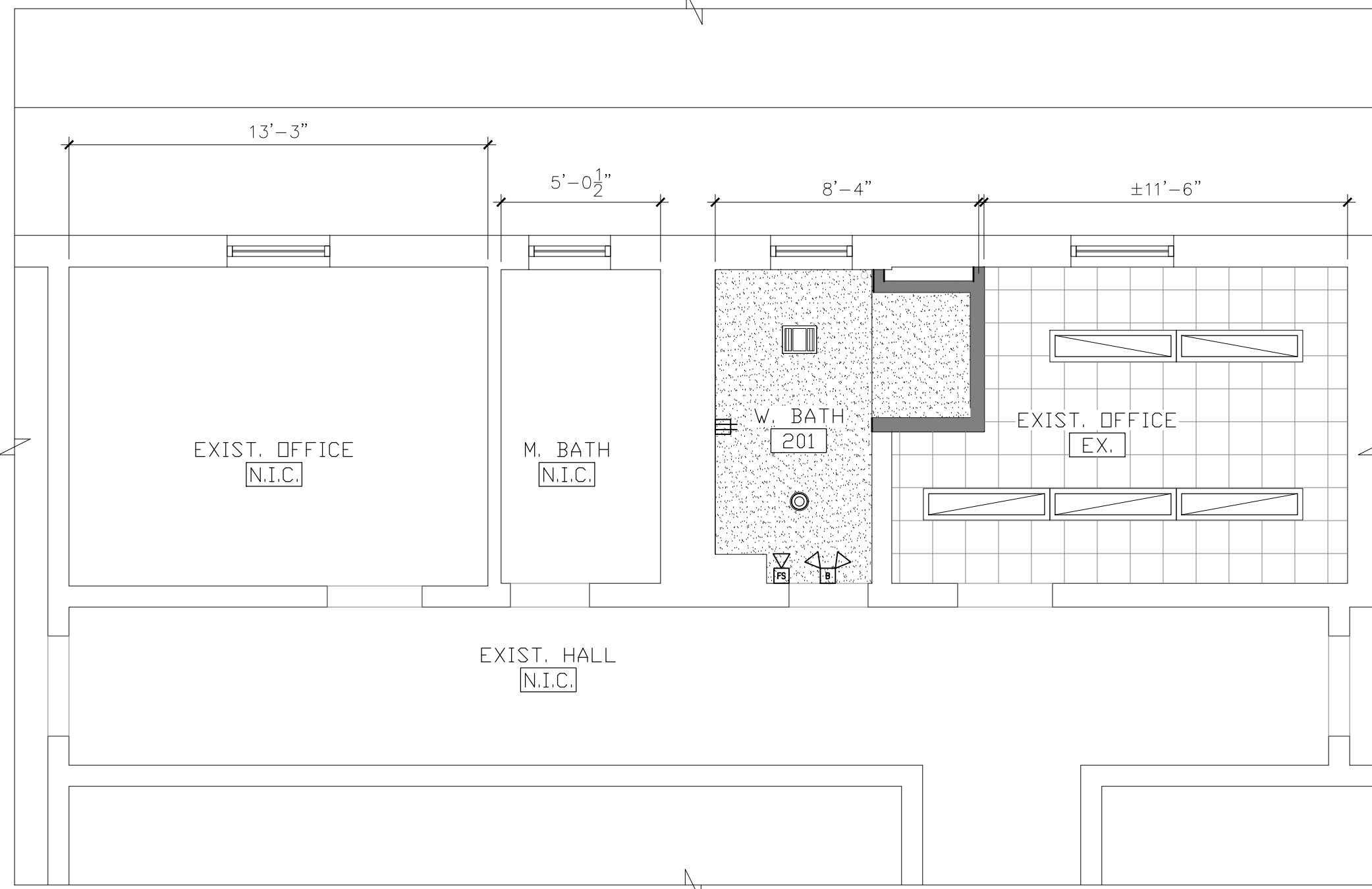
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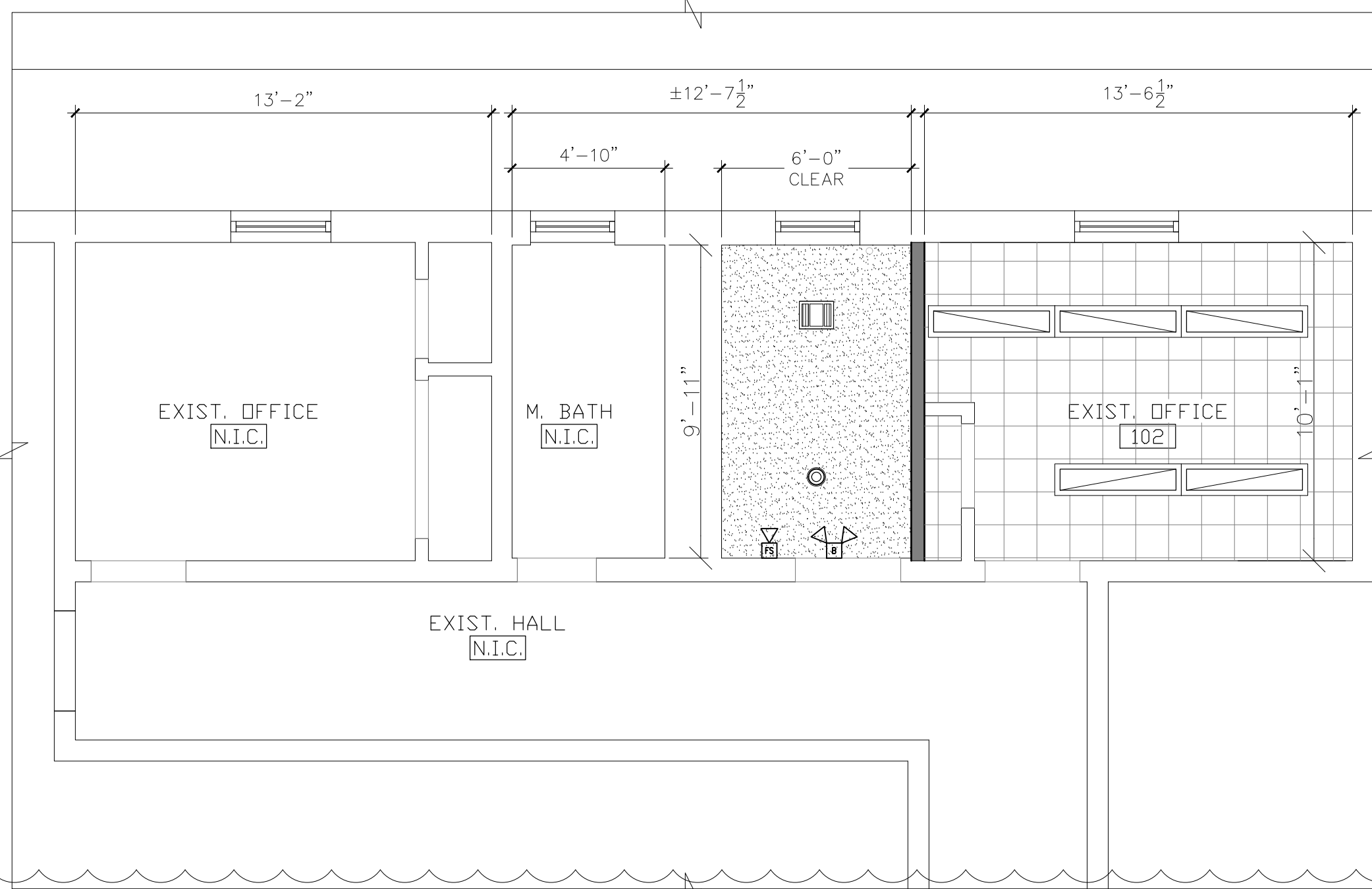
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CEILING LEGEND

-  EXISTING ACOUSTICAL CEILING GRID AND TILES, REMOVE & REPLACE DAMAGED CEILING TILES IN KIND, REPAIR GRID AS NEEDED
-  M.R. GWB CEILING PTD.
-  WHISPERGREEN SELECT 150CFM 0.7 BFV-1115VKL2 BATHROOM FAN W/ LED LIGHT
-  4" PUCK WAC LIGHTING ROUND 5" WIDE LED CEILING FIXTURE:FM-05RN-935-WT
-  BATTERY BACKUP EMERGENCY LIGHT
-  STROBE LIGHT ONLY - M.H.=6'8" OR 6" BELOW CEILING, WHICHEVER IS LOWER
-  GFI DUPLEX RECEPT. MOUNT 6" ABOVE VANITY



Second Floor RCP
SCALE: 1/4" = 1'-0"
Called



First Floor RCP
SCALE: 1/4" = 1'-0"
Called

No.	Description	Date
1	Bid Revision 1	10.24.23

PROJECT REVISIONS

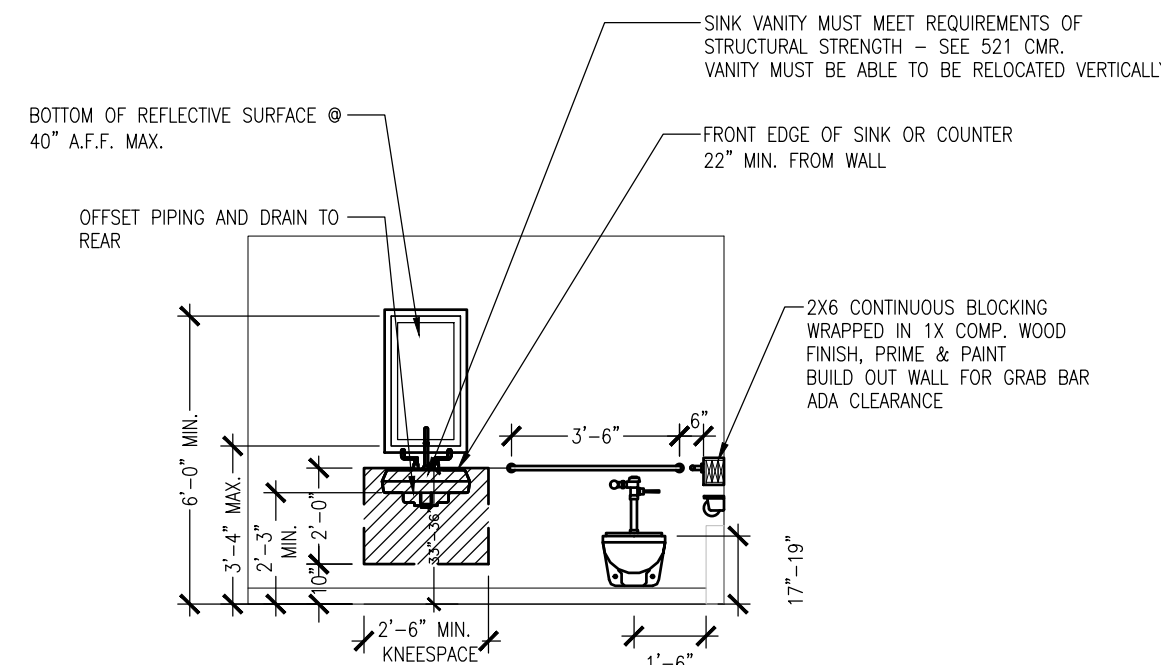
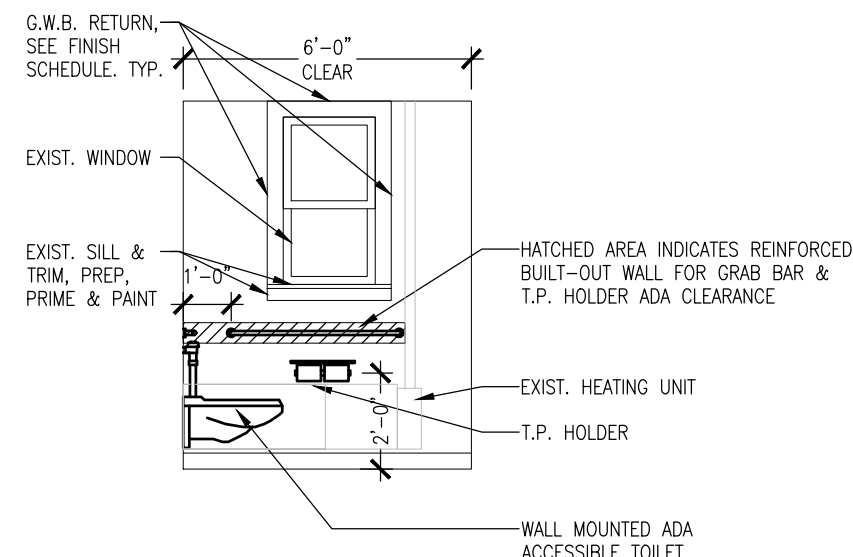
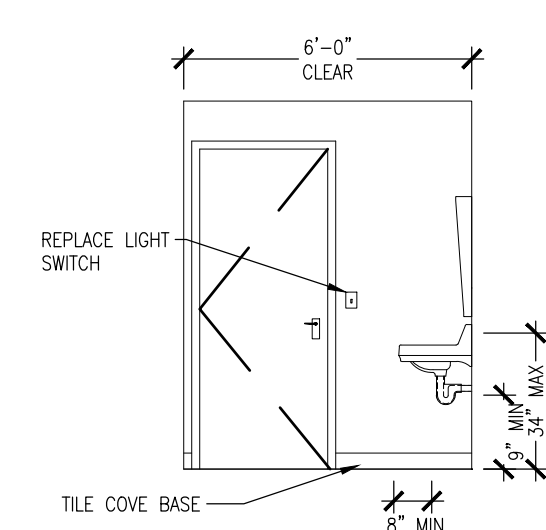
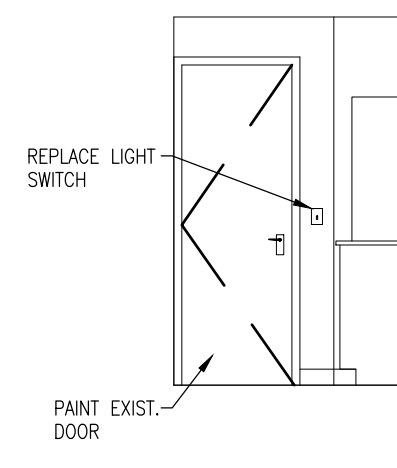
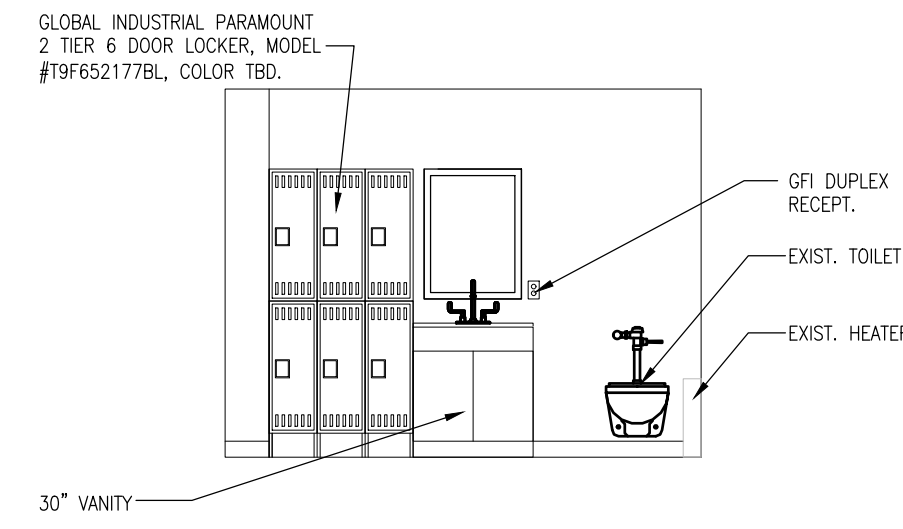
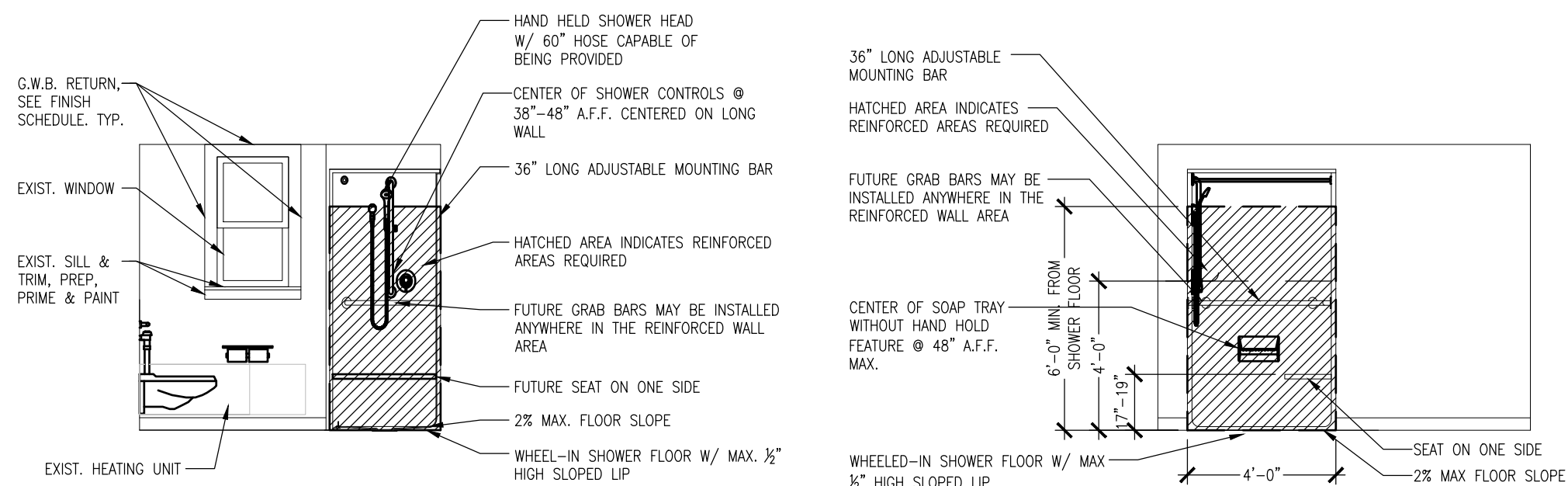
Job No.:	2023-005
Date:	October 4, 2023
Scale:	As Noted
Designed By:	JAS
Drawn By:	SL
Checked By:	JAS
Approved By:	JAS
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ENLARGED PLANS & ELEV.

SHEET NAME

A-2.1

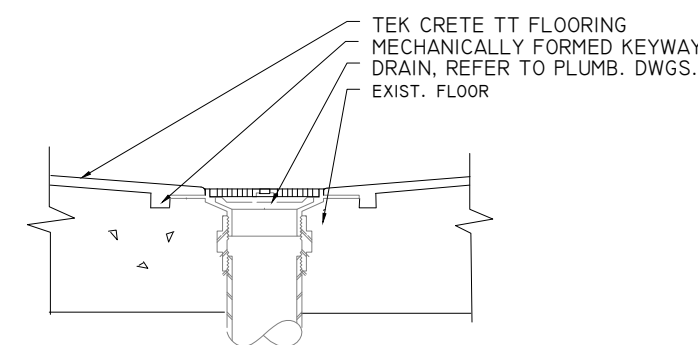
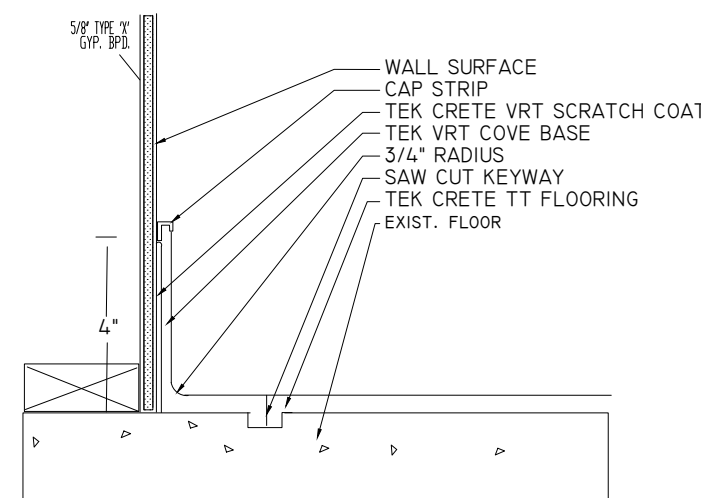
SHEET NO.



TOILET ROOM ACCESSORY SCHEDULE

NOTES:
1) COMPONENTS LISTED BELOW TO SERVE AS BASIS OF DESIGN. REFER TO SPECIFICATIONS.

TAG	COMPONENT	MANUFACTURER (OR EQUAL)	FINISH / PART NUMBER	NOTES
1	STAINLESS STEEL CHANNEL FRAME MIRROR	BOBRICK	B-165-XXXX	24" WIDE x 36" TALL 40" MAX. ABOVE FINISHED FLOOR, CENTERED AS SHOWN ON ELEVATIONS.
2	SOAP DISPENSER	BOBRICK	B-824	HANDS-FREE SOAP DISPENSER, TOP FILL, LIQUID SOAP
3	ACCESSIBLE TOILET GRAB BARS	BOBRICK	B-6806.99x42	2X 42", ENSURE GRAB BARS MEET ALL MAAB REQUIREMENTS
4	PAPER TOWEL DISPENSER	BOBRICK	B-2974	MOUNTED WITH OPERABLE PORTION 48" A.F.F. MAX.
5	TOILET PAPER DISPENSER	BOBRICK	B-540	CENTER OF ROLL MOUNTED 24" A.F.F., 7"-9" HORIZONTALLY FROM FRONT OF TOILET
6	TRASH RECEPTACLE	BOBRICK	B-2260	OPEN-TOP, NO COVER (B-2250 FOR COVER) MOUNTED UNDER EACH TRASH CHUTE
7	COAT HOOK W/ BUMPER	BOBRICK	B-212	1 PER TOILET STALL ON BACK OF DOOR, MOUNTED AT 54" A.F.F. MAX. IN ACCESSIBLE STALLS
8	SEE PLUMBING DWGS	-	-	SEE ENGINEERING SPECIFICATIONS
9	SEE PLUMBING DWGS	-	-	SEE ENGINEERING SPECIFICATIONS



PIPING SPECIFICATIONS FOR PLUMBING WORK ONLY

PIPING	MATERIAL	COMMENTS
ABOVE GROUND SANITARY+WASTE+VENT PIPING	CAST IRON, NO HUB W/ CLAMPS	1. USED FOR ALL COMMERCIAL SPACES
BELOW GROUND SANITARY+WASTE+VENT PIPING	CAST IRON, BELL & SPIGOT w/ PUSH ON NEOPRENE GASKETS	1. USED FOR ALL COMMERCIAL SPACES
DOMESTIC WATER (HOT&COLD)	TYPE L COPPER WITH SOLDER JOINTS OR PRO PRESS JOINTS	1. USE FOR ALL COMMERCIAL SPACES

SCHEDULE OF FLOOR DRAINS, FLOOR CLEANOUTS, HOSE BIBBS

DESIGNATION	LOCATION	MANUFACTURER	MODEL NO	COMMENTS
FD-A	TOILET ROOMS	WATTS	FD-100-A5	1. PROVIDE TRAP PRIMER & ASSOCIATED TRAP PRIMER WATER PIPING
FCO	SEE PLANS	WATTS	CO 1200-RX ROUND STAINLESS STEEL	REFER TO PLAN FOR LOCATION OF FCO ALL FCO LOCATIONS TO BE APPROVED BY OWNER
HOSE BIBB (HB)	SEE-PLANS	WOODFORD	37-HD-1 3/4" BALL VALVE W/ VB & CAP CHAIN	

DEMOLITION NOTES

- ALL NEW WORK IS DRAWN HEAVY
- EXISTING PIPING AND FIXTURE TO REMAIN ARE DRAWN LIGHT.
- THE LOCATIONS OF THE PIPING, FIXTURES, ELEVATIONS, ETC. HAVE BEEN TAKEN FROM THE BEST SOURCES AVAILABLE AND MUST BE VERIFIED IN THE FIELD PRIOR TO COMMENCING WORK IN RENOVATED AREAS.
- SINCE PORTIONS OF THE EXISTING BUILDING SHALL REMAIN IN OPERATION DURING CONSTRUCTION, THE PHASING REQUIREMENTS SHALL BE MET BY THIS SUB-CONTRACTOR AND ALL REQUIRED PIPES, VALVES, AND FITTINGS NECESSARY TO ACCOMPLISH SAME SHALL BE PROVIDED. COORDINATION OF THIS VERY IMPORTANT.
- RELOCATE ALL SOIL STACK AND VENT STACKS EXPOSED DUE TO DEMOLITION OF FIXTURES AND/OR PARTITIONS, WHEN STACKS ARE ACTIVE. RELOCATE AS DIRECTED BY ARCHITECT AND/OR ENGINEER. IT IS THE RESPONSIBILITY OF THIS SUB-CONTRACTOR TO KEEP ALL WASTE, VENT AND WATER RISERS ACTIVE DURING RELOCATION. ALL SHUT-DOWNS MUST BE APPROVED WITH OWNER AND ARCHITECT.
- DEBRIS REMOVAL FROM THE CONSTRUCTION SITE WILL BE COMPLETED BY A PREDETERMINED ROUTE AT PREDETERMINED TIMES. COORDINATE WITH THE HOSPITAL.
- REFER TO PLUMBING EQUIPMENT DETAILS FOR VALVE AND BYPASS LOCATIONS.
- EXISTING PLUMBING FIXTURES TO BE REMOVED SHALL HAVE ALL ASSOCIATED WASTE, VENT & WATER PIPING REMOVED BACK TO STACKS, MAINS AND OR RISERS.

PLUMBING LEGEND

SYMBOL	ABBREVIATION	DESCRIPTION
	S or W	SOIL or WASTE PIPING
	S or W	SOIL or WASTE PIPING (AT FLOOR BELOW)
	V	VENT PIPING
	V	VENT PIPING (AT FLOOR BELOW)
	CW	DOMESTIC COLD WATER PIPING
	HW	DOMESTIC HOT WATER PIPING
	G	NATURAL GAS
	IW	INDIRECT WASTE
	DV	DRAIN VALVE
		EXISTING PIPING TO BE REMOVED
	W&T	WASTE & TRAP
	CO	LINE OR END CLEANOUT
	FCO	FLUSH FLOOR CLEANOUT
		PIPE CAP
		PIPE CONTINUATION
		PIPE UP THRU SLAB OF FLOOR ABOVE
		PIPE DOWN THRU FLOOR SHOWN
		PIPE DROP
		PIPE RISE
	W&V	WASTE & VENT PIPING
	SS	SOIL STACK
	WS	WASTE STACK
	VS	VENT STACK
	NTS	NOT TO SCALE
	ELEV.	ELEVATION
	FIN. FL.	FINISH FLOOR
	RL	RAIN LEADER
	ETR	EXISTING TO REMAIN
	ETBR	EXISTING TO BE REMOVED
	ETBR&R	EXISTING TO BE REMOVED & REPLACED
	CTE	CONNECT TO EXISTING
	CWR	COLD WATER RISER
	HWR	HOT WATER RISER

PLUMBING FIXTURE SCHEDULE

FIXTURE NUMBER	DESCRIPTION	FIXTURE				FITTING			TRAP	CARRIER	H/C MTD.	REMARKS
		MANUFACTURER	MODEL	TYPE	SIZE	MANUFACTURER	TYPE	SUPPLY				
P-1A	WATER CLOSET FLOOR MOUNTED HANDICAPPED	AMERICAN STANDARD	MADERA 3641.001	FLOOR MOUNT 1.6 GAL FLUSH	1 1/2" TOP ELONGATED ELONGATED WHITE	SLOAN	SOLIS 8111-1.6	IPS	INTEGRAL	N/A	Y	1. AMERICAN STANDARD SEAT #5901.110 W/ SS CHECK HINGE 2. EVERCLEAN FINISH 3. PROVIDE WAX RING & BOLTS W/ TOILET FLANGE
P-2	LAVATORY	KOHLER	VERTICYL K-8189	UNDERMOUNT VANITY	17"x13 1/2"x5" WHITE	SLOAN	EAF-300-ISM	McGUIRE HEAVY DUTY HSTO2LK-IPS LOOSE KEY STOPS & STAINLESS STEEL BRAIDED SUPPLY RISERS	McGUIRE #8902-C-1 1/4"x1 1/2" I.P.S. P-TRAP W/McGUIRE #HD 150A GRID STRAINER-ALL CHROME & HEAVY DUTY TYPE	WATTS TO SUITE	N	1. PROVIDE MAXLINE 5-210-CK TMV 2. PROVIDE SOAP DISPENSER BOBRICK-B-824 3. PROVIDE 120 VOLT POWER
P-2A	LAVATORY HANDICAPPED	AMERICAN STANDARD	LUCERNE 0355	WALL HUNG 2 HOLE MODIFIED TO ACCEPT SOAP DISPENSER	20 1/2"x18 1/4" WHITE	SLOAN	EAF-300-ISM	McGUIRE HEAVY DUTY HSTO2LK-IPS LOOSE KEY STOPS & STAINLESS STEEL BRAIDED SUPPLY RISERS	McGUIRE #8902-C-1 1/4"x1 1/2" I.P.S. P-TRAP W/McGUIRE #HD 155WC-C OFFSET GRID STRAINER-ALL CHROME & HEAVY DUTY TYPE	WATTS TO SUITE	Y	1. SEE ARCH DRAWINGS FOR MOUNTING HEIGHT 2. PROVIDE TRUBRO LAV GUARD KIT 3. PROVIDE MAXLINE 5-210-CK TMV 4. PROVIDE SOAP DISPENSER BOBRICK B-824 5. PROVIDE 120 VOLT POWER
P-3	SHOWER	BEST BATH	LSS5038		50"x39"x77" W/ 2 1/2" CURB	SYMMONS	ORIGIN LINE 9605-X-PLR-1.5-TRM	IPS	IPS TO SUITE	N/A	N	1. PROVIDE OPTION FROM SHOWER MANUFACTURER: a. GRAB BAR b. SOAP DISH c. CURTAIN ROD BRACKETS 2. PLUMBER TO PROVIDE: a. PROVIDE CURTAIN ROD & HOOKS b. PROVIDE SHOWER CURTAIN

(WB) = WRIST BLADES (IR) = INFRARED (M) = MANUAL (H) = HANDICAP

PROJECT ARCHITECT

SEAL

SALEM FIRE DEPARTMENT
48 Lafayette St,
Salem, MA, 01970

PROJECT INFORMATION



CONSULTANT INFORMATION

OWNER INFORMATION

No.	Description	Date
1	Bid Set (Not for Construction)	8.24.23

PROJECT REVISIONS

Job No.:	2023-005
Date:	July 5, 2023
Scale:	As Noted
Designed By:	SPQ
Drawn By:	CAD
Checked By:	SPQ
Approved By:	SPQ
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Plumbing Legend, Schedules & Notes

SHEET NAME

P-0.1

SHEET NO.

PROJECT ARCHITECT

SEAL

SALEM FIRE DEPARTMENT
48 Lafayette St,
Salem, MA, 01970

PROJECT INFORMATION



QUIETO CONSULTING ENGINEERS
DESIGN ENGINEERING SERVICES
14 WOOD ROAD
SUITE 102
BRAINTREE, MA 02184
(508) 906-8370 • (201) 901-1773

CONSULTANT INFORMATION

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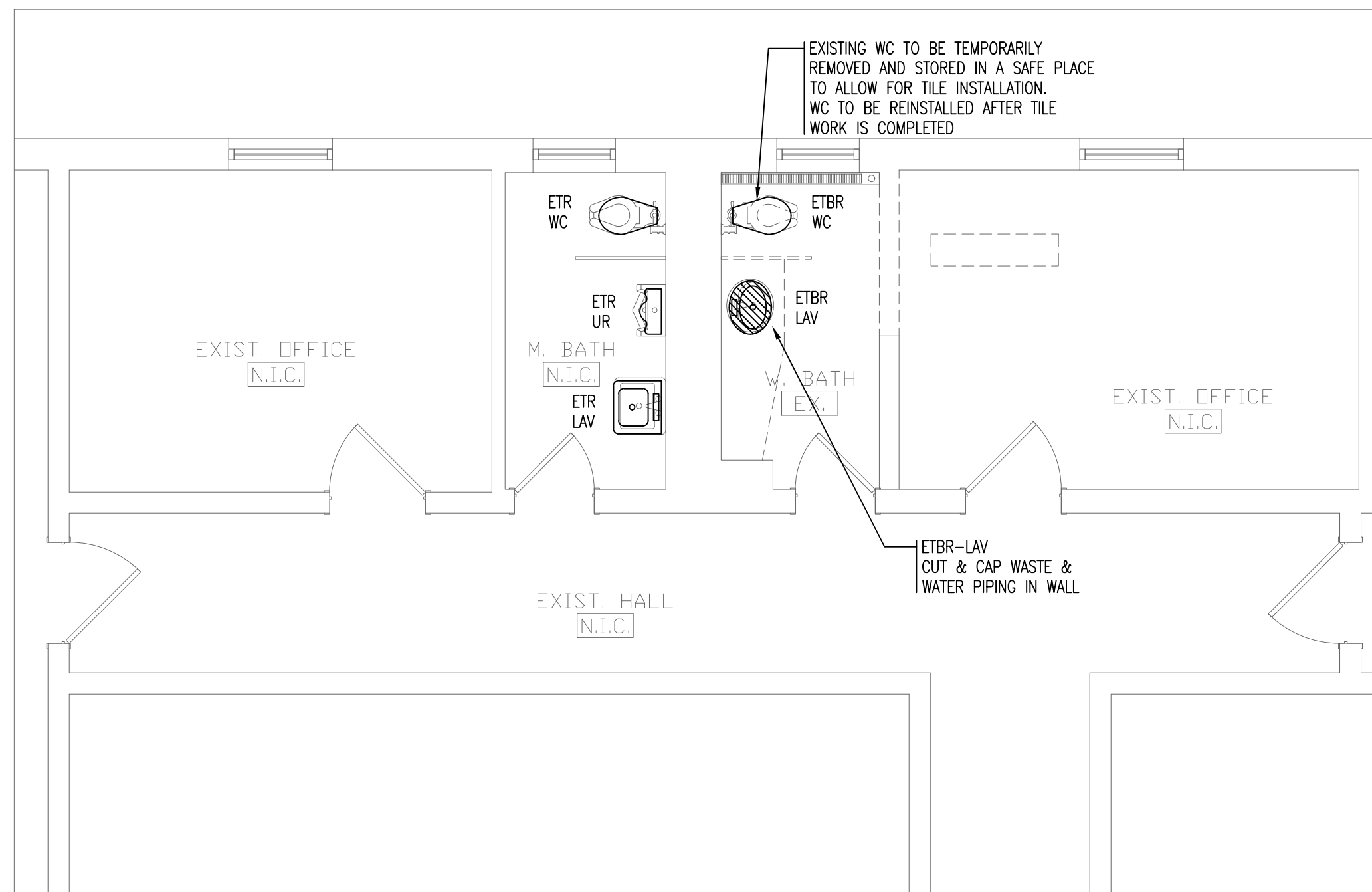
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**Plumbing
1st & 2nd
Floor Demolition
Plan**

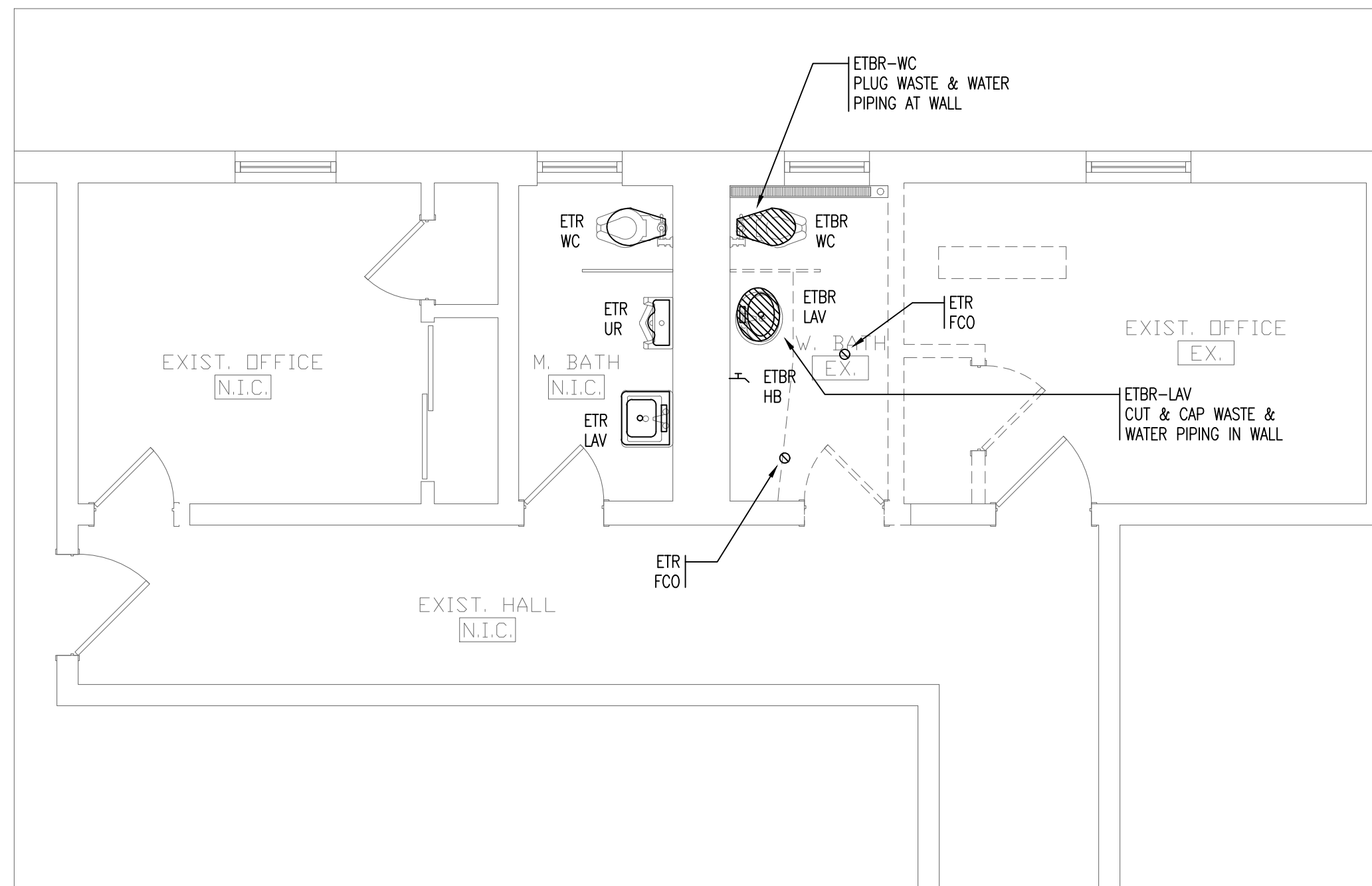
SHEET NAME

P-1.1

SHEET NO.



Demo Second Floor Plan
SCALE: 1/4" = 1'-0"
Called



Demo First Floor Plan
SCALE: 1/4" = 1'-0"
Called

PROJECT ARCHITECT

SEAL

SALEM FIRE DEPARTMENT
48 Lafayette St,
Salem, MA, 01970

PROJECT INFORMATION



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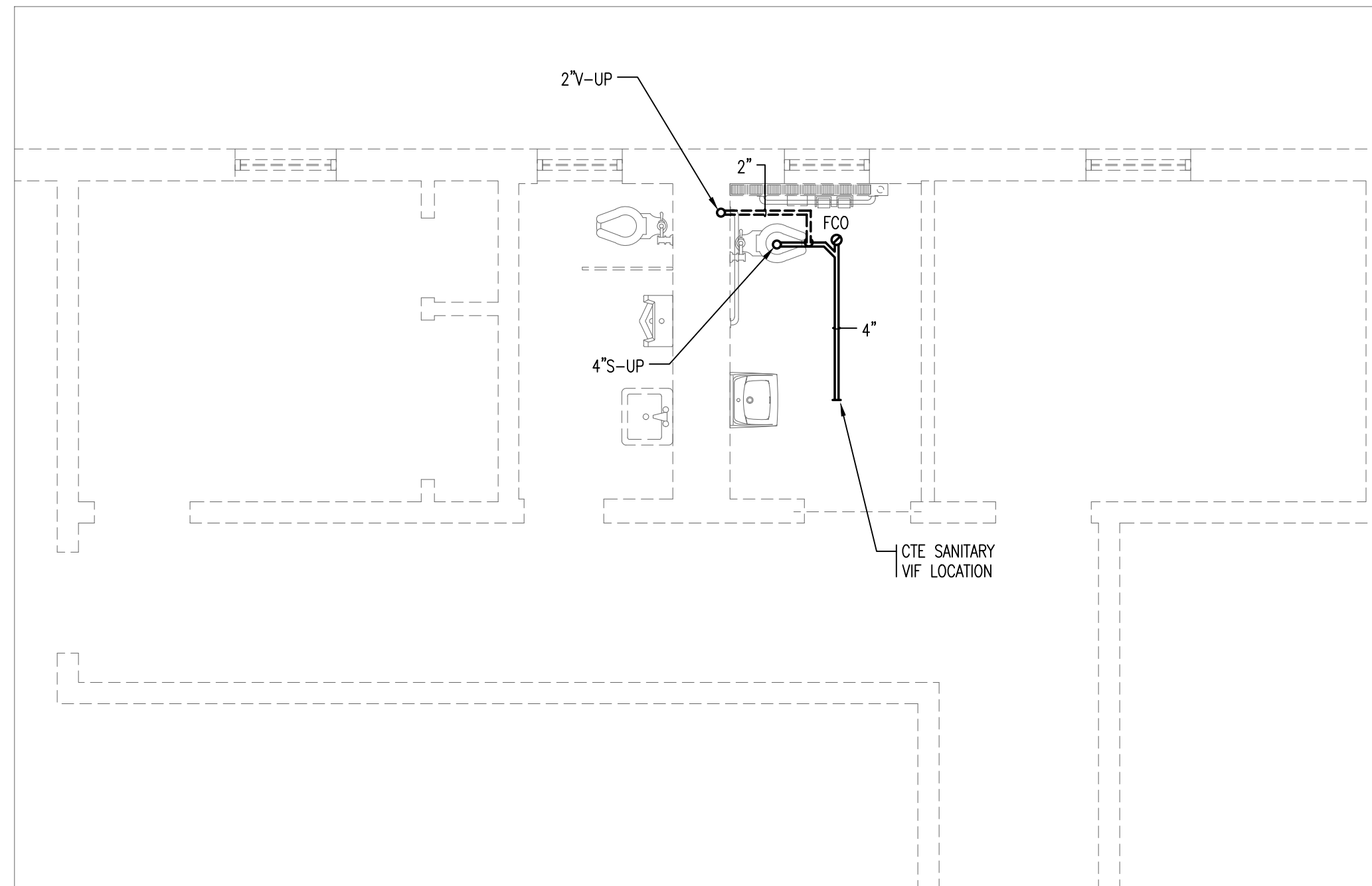
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Plumbing Underslab New Plan

SHEET NAME

P-2.0

SHEET NO.



New Underslab Plan

SCALE: 1/4" = 1'-0"

SALEM FIRE DEPARTMENT
48 Lafayette St,
Salem, MA, 01970

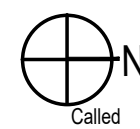
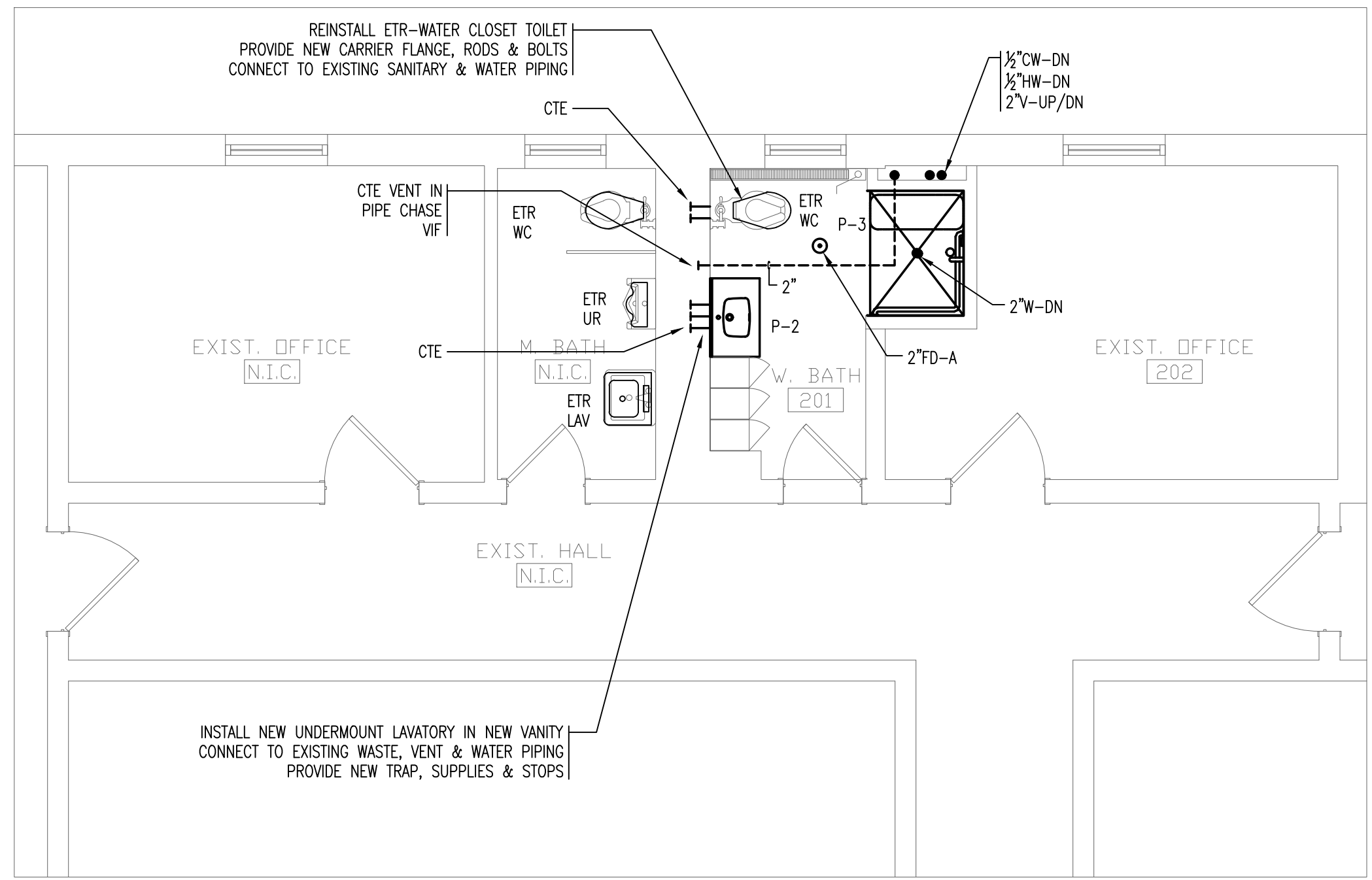


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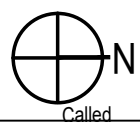
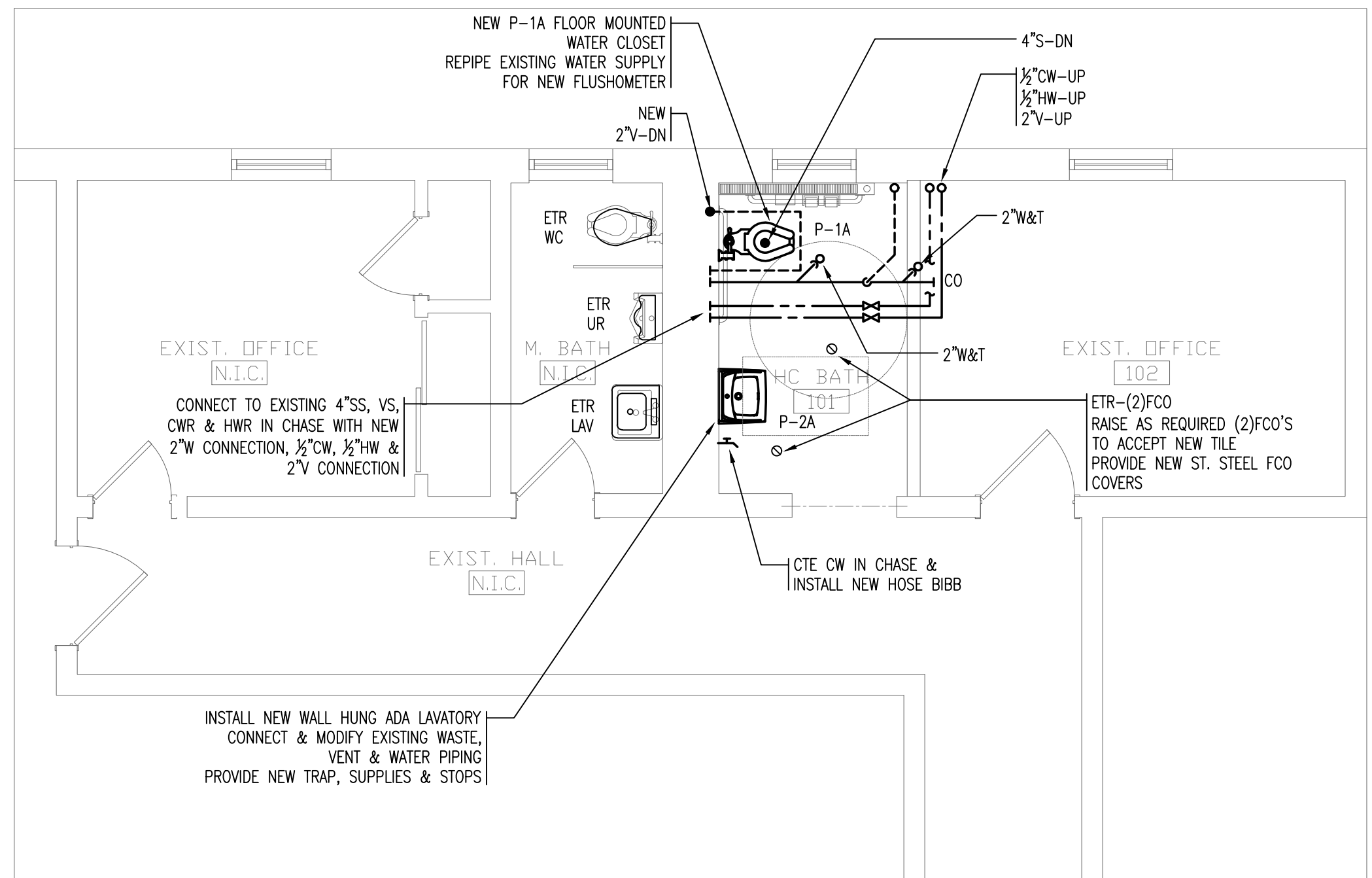
**Plumbing
1st & 2nd
Floor New Plan**

P-2.1



New Second Floor Plan

SCALE: 1/4" = 1'-0"



New First Floor Plan

SCALE: 1/4" = 1'-0"

PLUMBING SPECIFICATIONS

PART 1 – GENERAL

1.01 RELATED DOCUMENTS

- A. ARCHITECTURAL GENERAL CONDITIONS AND SPECIAL CONDITIONS APPLY TO THIS SECTION.

1.02 WORK INCLUDED

- A. THE WORK COVERED BY THIS SECTION OF THE SPECIFICATION CONSISTS OF FURNISHING ALL MATERIALS, LABOR SUPERVISION, EQUIPMENT AND APPURTENANCES, TOOLS, PERMITS, AND SERVICE TO PERFORM ALL PLUMBING WORK, COMPLETE AND PLACE INTO APPROVED OPERATING CONDITIONS, INCLUDING ALL TESTS AND ADJUSTMENTS IN STRICT ACCORDANCE WITH THESE SPECIFICATIONS AND APPLICABLE DRAWINGS.
- B. THE PRINCIPAL WORK UNDER THIS SECTION SHALL INCLUDE, BUT WILL NOT BE LIMITED TO, THE FOLLOWING MAJOR ITEMS:
1. WASTE AND VENT PIPING.
 2. COLD AND HOT WATER PIPING.
 3. VALVES.
 4. HANGERS, SUPPORTS AND SLEEVES.
 5. INSULATION.
 6. CORE DRILLING.
 7. PLUMBING FIXTURES.
 8. CO-ORDINATION W/ OTHER TRADES
 9. VALVE TAGS & CHARTS
 10. DEMOLITION
- C. RELATED WORK: THE FOLLOWING WORK IS NOT INCLUDED IN THIS SECTION AND IS TO BE PERFORMED UNDER THE DESIGNATED SECTIONS:
1. HEATING, VENTILATION AND AIR CONDITIONING WORK.
 2. ELECTRICAL WORK.
 3. CUTTING AND PATCHING.

1.03 SUBMITTALS

- A. SUBMIT COMPLETE SHOP DRAWINGS IN ACCORDANCE WITH THE PROVISIONS OF THE GENERAL CONDITIONS. SHOP DRAWINGS SHALL INCLUDE EQUIPMENT, PIPING, VALVES, HANGERS, SUPPORTS, INSULATION AND PLUMBING FIXTURES.
- B. SUBMIT SAMPLES IN ACCORDANCE WITH THE PROVISIONS OF THE GENERAL CONDITIONS.

1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. THE PLUMBING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK UNTIL ITS COMPLETION AND FINAL ACCEPTANCE AND REPLACE ANY WORK OR MATERIALS THAT HAVE BEEN DAMAGED, LOST, OR STOLEN WITHOUT ADDITIONAL COST TO THE OWNER.
- B. MATERIALS AND FIXTURES SHALL BE PROPERLY PROTECTED AGAINST OBSTRUCTION AND DAMAGE.

1.05 JOB CONDITIONS

- A. THE PLUMBING SUBCONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED WORK AND SHALL FULLY ACQUAINT HIMSELF WITH THE CONDITIONS, CHARACTER AND EXTENT OF WORK REQUIRED.

1.06 GUARANTEE

- A. SUBMIT ALL GUARANTEES IN ACCORDANCE WITH THE PROVISIONS OF THE GENERAL CONDITIONS.

1.07 RECORD DRAWINGS

- A. PREPARE AND SUBMIT REPRODUCIBLE RECORD DRAWINGS, AND AUTOCAD DISC FILE AT END OF PROJECT.

1.08 CODES, ORDINANCES AND PERMITS

- A. ALL WORK AND MATERIALS ARE TO COMPLY IN EVERY RESPECT WITH THE LOCAL BUILDING LAWS AND MASSACHUSETTS STATE PLUMBING CODE, AND SUCH APPLICABLE BUILDING LAWS AND REGULATIONS ARE TO BE CONSIDERED AS PART OF THESE SPECIFICATIONS.
- B. THE PLUMBING SUBCONTRACTOR IS TO GIVE ALL REQUISITE NOTICES, FILE ALL REQUISITE PLANS RELATING TO HIS WORK WITH THE PROPER AUTHORITIES AND IS TO SECURE ALL PERMITS AND PAY ALL FEES FOR SAME. IF ANY WORK IS PERFORMED AND CHANGES ARE NECESSARY TO CONFORM TO THE ORDINANCES, THESE CHANGES SHALL BE MADE AT THE PLUMBING SUBCONTRACTOR'S EXPENSE.
- C. THE DRAWINGS AND SPECIFICATIONS SHALL BE FOLLOWED WHEN IN EXCESS OF THE MINIMUM REQUIREMENTS OF THE CODE.

1.09 DRAWINGS AND SPECIFICATIONS

- A. THE DRAWINGS AND THESE SPECIFICATIONS ARE COMPLEMENTARY EACH TO THE OTHER, AND ANY LABOR OR MATERIALS CALLED FOR BY EITHER, WHETHER OR NOT BY BOTH, SHALL BE FURNISHED AND INSTALLED BY THIS SUBCONTRACTOR.
- B. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE VARIOUS SYSTEMS AND PIPING. DUE TO THE SMALL SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, DEVICES AND ACCESSORIES WHICH MAY BE REQUIRED. THE PLUMBING SUBCONTRACTOR SHALL EXAMINE THE ENTIRE SET OF CONTRACT DRAWINGS AND CAREFULLY INVESTIGATE THE STRUCTURE AND FINISH CONDITIONS AFFECTING ALL HIS WORK AND SHALL ARRANGE SUCH WORK ACCORDINGLY FOR THE COMPLETE SATISFACTORY OPERATION OF ALL SYSTEMS PROVIDING SUCH FITTINGS, VALVES, DEVICES AND ACCESSORIES AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE AND TO THE SATISFACTION OF THE ARCHITECT AND OWNER AT NO ADDITIONAL COST TO EITHER.

1.10 COORDINATION OF TRADES

- A. THE PLUMBING SUBCONTRACTOR SHALL PROVIDE ALL REQUIRED COORDINATION AS REQUIRED BY THE CONTRACTOR.

1.11 OPERATING INSTRUCTIONS AND MAINTENANCE MANUAL

- A. INSTRUCT TO THE OWNER'S SATISFACTION SUCH PERSONS AS THE OWNER DESIGNATES, IN THE PROPER OPERATION AND MAINTENANCE OF THE SYSTEMS AND THEIR PARTS.
- B. THIS SUBCONTRACTOR SHALL SUBMIT TO THE ARCHITECT FOR APPROVAL, THREE (3) SETS OF OPERATING AND INSTRUCTIONAL MANUALS, SPARE PARTS LISTS, DRAWINGS, MANUFACTURER'S BULLETINS AND OTHER PERTINENT DATA OF ALL EQUIPMENT FURNISHED UNDER THIS CONTRACT. EACH SET SHALL BE ENCLOSED IN A SUITABLE HARD COVER BINDER.
- C. PROVIDE NAME, ADDRESS AND TELEPHONE NUMBERS OF THE MANUFACTURER'S REPRESENTATIVE AND SERVICE COMPANY OR EACH PIECE SO THAT SERVICE PARTS CAN BE READILY OBTAINED.

1.12 CLEANUP

- A. AFTER COMPLETION OF THE WORK, ALL TOOLS AND OTHER EQUIPMENT SHALL BE REMOVED FROM THE BUILDING. ALL EXCESS MATERIALS SHALL BE REMOVED AND THE BUILDING LEFT BROOM CLEAN. ALL MATERIALS AND EQUIPMENT SURFACES SHALL BE CLEANED AND POLISHED IN ACCORDANCE WITH THE FINISH OF THE MATERIAL.

1.13 IDENTIFICATION

- A. ALL STENCILING OF PIPING, MATERIALS AND EQUIPMENT AS OUTLINED HEREINAFTER FOR IDENTIFICATION PURPOSES SHALL BE PERFORMED BY THIS SUBCONTRACTOR.
- B. THE STENCILING SHALL BE PAINTED ON THE APPARATUS IN FULL VIEW AND SHALL BE A COLOR THAT IS IN SHARP CONTRAST WITH THE BACKGROUND. COLOR CODING TO BE IN ACCORDANCE WITH THE STANDARDS.
- C. BEFORE STENCILING IS APPLIED, THE APPARATUS SHALL BE THOROUGHLY CLEANED AND PAINTED, IF POSSIBLE.
- D. LETTERS SHALL NOT BE LESS THAN 1 1/2" IN HEIGHT. ARROWS SHALL NOT BE LESS THAN 9" LONG.
- E. ALL WATER PIPING SYSTEMS EXPOSED AND ABOVE FURRED CEILINGS SHALL BE IDENTIFIED AT INTERVALS OF APPROXIMATELY 20' AND AT EACH CHANGE OF DIRECTION.
- F. IN LIEU OF STENCILING, PIPING SYSTEMS MAY BE IDENTIFIED WITH APPROVED SNAP-ON COVERS DESIGNATING SERVICES AND DIRECTION OF FLOW. LOCATION OF IDENTIFICATION COVERS SHALL BE NEAR ACCESS PANELS WHEREVER POSSIBLE AND ON BOTH SIDES OF VALVES. THE MARKERS SHALL BE AS MANUFACTURED BY W.H. BRADY CO., WESTLINE PRODUCTS, SETON NAMEPLATE CO., OR APPROVED EQUAL.

1.14 TESTING OF PIPING SYSTEMS

- A. ALL PIPING SYSTEMS SHALL BE SUBJECTED TO TESTING WITH WATER OR AIR AS NOTED AND SHALL HOLD TIGHT AT THE PRESSURE HEAD STATED FOR THE TIME INTERVAL REQUIRED WITHOUT ADDING AIR OR WATER. WHILE ANY SYSTEM IS BEING TESTED, REQUIRED HEAD OF PRESSURE SHALL BE MAINTAINED UNTIL ALL JOINTS ARE INSPECTED.
- B. ALL TESTS SHALL BE WITNESSED BY THE LOCAL INSPECTOR HAVING JURISDICTION AND THE ARCHITECT/ENGINEER, WITH 48-HOUR NOTICE GIVEN THESE AUTHORITIES.
- C. ALL EQUIPMENT, MATERIALS AND LABOR REQUIRED FOR TESTING ANY OF THE VARIOUS SYSTEMS OR ANY PART THEREOF SHALL BE FURNISHED BY THIS SUBCONTRACTOR.
- D. WATER PIPING SYSTEMS: TEST ALL SECTIONS WITH AIR TO AT LEAST 150 PSI FOR A PERIOD OF ONE HOUR.
- E. SANITARY SYSTEM: TEST ALL SECTIONS WITH WATER TO AT LEAST 10-FOOT HEAD OF WATER.
- F. DEFECTIVE WORK: IF INSPECTION OR TEST SHOWS DEFECTS, SUCH DEFECTIVE WORK OR MATERIAL SHALL BE REPLACED, INSPECTION AND TESTS SHALL BE REPEATED. ALL REPAIRS TO PIPING SHALL BE MADE WITH NEW MATERIAL. NO CAULKING OF SCREWED JOINTS OR HOLES WILL BE ACCEPTABLE.

1.15 VALVE TAGS

- A. PROVIDE VALVE TAGS ON ALL VALVES & PROVIDE VALVE TAGS ON RECORD DRAWINGS. PROVIDE VALVE TAGS CHART IN O&M MANUAL.

PART 2 – PRODUCTS

2.01 MATERIALS

- A. SOIL PIPE AND FITTINGS:
1. ABOVE GROUND SOIL PIPE AND FITTINGS, WASTE, & VENT PIPING:
 2. SERVICE WEIGHT NO-HUB CAST IRON W/HUSKEY SD-4000 CLAMPS ABOVE GROUND.
- B. SOIL PIPE AND FITTINGS – BURIED SOIL, WASTE, & VENT PIPING
1. SHALL BE SERVICE WEIGHT CAST IRON WITH PUSH ON NEOPRENE GASKETS.
- C. COPPER TUBING AND FITTINGS (TYPE L): TUBING TO BE TYPE L HARD TEMPER WITH WROUGHT COPPER FITTINGS. ALL JOINTS SHALL BE PRO PRESS FITTINGS.
- D. WATER VALVES: BALL VALVES SHALL BE ALL BRONZE DESIGNED FOR 200 PSI WATER.
- E. HANGERS AND SUPPORTS: ALL PIPING SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE BY MEANS OF APPROVED HANGERS AND SUPPORTS. PIPING SHALL BE SUPPORTED TO MAINTAIN REQUIRED GRADING AND PITCHING OF LINES. HANGERS FOR UNCOVERED (UNINSULATED) COPPER PIPING SHALL BE FACTORY APPLIED PLASTIC COATED STEEL CLEVIS HANGERS.
- F. SLEEVES AND ESCUTCHEONS: APPROVED SLEEVES FOR THE PASSAGE OF ALL SYSTEMS PASSING THROUGH WALLS, FLOORS AND PARTITIONS SHALL BE FURNISHED AND SET BY THIS SUBCONTRACTOR.
1. SLEEVES SHALL BE ONE PIECE GALVANIZED SCHEDULE 40 STEEL PIPING.
 2. ESCUTCHEONS SHALL BE CHROME PLATED HEAVY BRASS FITTING THE PIPE PASSING THROUGH FINISHED FLOOR, WALL OR CEILING AND SHALL BE SET IN MASTIC AT ALL SLEEVES THROUGH FLOORS.
- G. INSULATION MATERIAL AND SCOPE: ALL NEW WATER PIPING, FITTINGS AND VALVES SHALL BE INSULATED.
1. PIPE INSULATION = FIBERGLASS.
 2. FITTINGS AND VALVES INSULATION = MOLDED OR FABRICATED FITTING COVERS OF EQUAL THICKNESS AND IDENTICAL IN COMPOSITION TO ADJACENT PIPE INSULATION.
 3. ALL MATERIALS, INCLUDING VAPOR BARRIER JACKETS, GLASS CLOTH JACKETS, ADHESIVES, ETC., SHALL BE FIRE RETARDANT.
 4. INSULATION THICKNESS = MINIMUM THICKNESS SHALL BE DOMESTIC COLD PIPING @ 1/2" THICK, HOT WATER SUPPLY AND RETURN PIPING @ 1" THICK.
 5. FINISH = VAPOR BARRIER JACKET ON ALL WATER PIPING WHICH SHALL NOT BE PUNCTURED OR DISTURBED. ALL SERVICE JACKET SHALL BE FURNISHED AND FITTINGS SHALL HAVE PVC JACKET.
- H. INSULATION APPLICATION
1. GENERAL: ALL INSULATION SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SHALL BE APPLIED BY A QUALIFIED INSULATION CONTRACTOR.
 2. PIPING: PIPE INSULATION SHALL BE INSTALLED WITH VAPOR BARRIER JACKETS DRAWN TIGHT AND FIRMLY SEALED TO ASSURE A POSITIVE VAPOR SEAL. END JOINTS SHALL BE COVERED WITH 4" WIDE BUTT STRIPS OF MATERIAL IDENTICAL TO VAPOR BARRIER JACKETS, AND THEY SHALL BE DRAWN TIGHT AND SECURELY SEALED. THE USE OF STAPLES, BANDS, ETC., TO SECURE INSULATION WILL NOT BE ACCEPTABLE.
 3. FITTINGS AND VALVES: MOLDED INSULATION ON FITTINGS AND VALVE BODIES SHALL BE SAME THICKNESS AS ADJACENT COVERING AND FINISHED NEATLY TO MATCH THE ADJACENT PIPE INSULATION.
 4. HANGERS AND SADDLES: SPECIAL HIGH DENSITY INSERTS OF CALCIUM SILICATE, CELLULAR GLASS OR OTHER APPROVED MATERIAL OF THE SAME THICKNESS AS ADJACENT INSULATION SHALL BE INSTALLED AT POINTS OF HANGER SUPPORT. INSULATION INSERTS SHALL BE EITHER 180 DEGREES OR 260 DEGREES AND NOT LESS THAN 18" IN LENGTH. THE ENTIRE INSERT SHALL BE COVERED WITH VAPOR BARRIER FACING OF THE SAME APPEARANCE AND QUALITY AS THE FACING ON THE ADJACENT COVERING. INSULATION AT ANCHORS AND SUPPORTS SHALL BE NEATLY CUT AND FITTED.

- I. PLUMBING FIXTURES SEE FIXTURE SCHEDULE ON DRAWINGS.

PART 3 – EXECUTION

3.01 WASTE AND VENT PIPING

- A. FURNISH AND INSTALL A COMPLETE NEW WASTE AND VENT PIPING SYSTEM AS REQUIRED BY APPLICABLE CODES.

3.02 WATER PIPING

- A. FURNISH AND INSTALL A COMPLETE NEW GENERAL PURPOSE COLD AND HOT WATER PIPING, VALVES AND CONNECTIONS TO ALL PLUMBING FIXTURES AS REQUIRED BY APPLICABLE CODES.

3.03 DEMOLITION

- A. THIS SUBCONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING WATER, SANITARY, VENT, & CONDUCTOR PIPING AND EQUIPMENT IN THE BUILDING INDICATED WHEN THE PHASING SCHEDULE ALLOWS SAME. THESE SYSTEMS SHALL BE RECONNECTED TO WHERE REQUIRED WITH NEW PIPING SERVING SAME. SPECIAL ATTENTION MUST BE GIVEN TO THE REQUIRED PHASING OF THE CONSTRUCTION AS IT RELATES TO PLUMBING.
- B. DISCONNECTED AND REMOVED EQUIPMENT AND PIPING SHALL BE REMOVED OFF THE SITE AND DISPOSED OF LEGALLY BY THIS SUBCONTRACTOR, EXCEPT WHAT THE OWNER WISHES TO RETAIN. THIS SUBCONTRACTOR SHALL NEATLY STOCKPILE MATERIALS AS DIRECTED BY THE CONSTRUCTION MANAGER UNTIL MATERIAL CAN BE DISPOSED OF AS REQUIRED.
- C. ALL DISCONNECTED AND REMOVED PIPING SHALL BE PLUGGED OR CAPPED BACK AT MAIN OR RISER. ALL UNUSED BRANCH PIPING MUST BE REMOVED. EXISTING RISERS WHICH ARE EXPOSED DUE TO WALL DEMOLITION MUST ALSO BE REMOVED IF THEY ARE NO LONGER NEEDED. REMOVE ALL UNUSED VALVES, FITTINGS AND BRANCHES.
- D. DURING DEMOLITION WORK THIS SUBCONTRACTOR SHALL COORDINATE WITH THE OWNER'S SAFETY OFFICER REGARDING REMOVAL OF PIPE AND EQUIPMENT IN HAZARDOUS AREAS.

PROJECT ARCHITECT

SEAL

**SALEM FIRE
DEPARTMENT**
**48 Lafayette St,
Salem, MA, 01970**

PROJECT INFORMATION



CONSULTANT INFORMATION

OWNER INFORMATION

No.	Description	Date
1	Bid Set (Not for Construction)	8.24.23

PROJECT REVISIONS

Job No.:	2023-005
Date:	July 5, 2023
Scale:	As Noted
Designed By:	SPQ
Drawn By:	CAD
Checked By:	SPQ
Approved By:	SPQ
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**Plumbing
Specifications**

SHEET NAME

P-3.0

SHEET NO.